

CITY OF SANFORD PLANNING BOARD

REGULAR MEETING

Tuesday, January 20, 2026, 6:00 PM

Sanford Municipal Center, 225 E. Weatherspoon Street, Sanford, NC 27330

CALL TO ORDER – 6:00 PM (or after all of the joint public hearings have been held with the City Council)

Introduction by Chairman: The Sanford Planning Board is an advisory council on matters relating to land development & long-range planning and provides recommendations to the Sanford City Council. All information relevant to each case should have been presented during the public hearing. The Planning Board may ask for clarification of information received during the public hearing, but may not receive new information. Recommendations made this evening will be presented to the City Council for consideration on February 3, 2026 and action may or may not be taken at that time per the discretion of the City Council.

- A. APPROVAL OF AGENDA**
- B. APPROVAL OF MINUTES** – *December 16, 2025*
- C. DISCLOSURE OF CONFLICT OF INTEREST**
- D. OLD BUSINESS** - *None*
- E. NEW BUSINESS**

PUBLIC HEARING WITH THE CITY COUNCIL TO CONSIDER ITEMS 1-6:

1. **ZONING MAP AMENDMENT / REZONING APPLICATION; CASE 2026-0101**
Application by Atwell, LLC d/b/a Atwell, PLLC to amend the existing Ashby Village Conditional Zoning District to provide more detail to the Office & Institutional (O&I) and the General Commercial (C-2) portions of the Ashby Village project that was approved via the site plan/subdivision plan conditional zoning process in 2021. The subject property is comprised of four parcels of land totaling 36.9 acres with frontage on Rosser Road and S. Horner Blvd. The subject property is identified as Lee County Tax Parcels 9652-90-4777-00 (O&I), 9652-90-5359-00 (O&I), 9661-09-2400-00 (C-2), and 9661-08-9921-00 (C-2) as depicted on Tax Maps 9652.20, 9662.03, 9651.08, and 9661.01.
2. **ZONING TEXT AMENDMENT; CASE 2026-0102**
Staff-initiated text amendment to revise the Unified Development Ordinance’s (UDO’s) Appendix A, to add a legal definition for the term “outparcel,” and Appendix B, to revise the Lee County Environmental Health certificate language to align with recently changed state statutes.
3. **ZONING TEXT AMENDMENT; CASE 2026-0103**
Staff-initiated revisions to the Unified Development Ordinance (UDO) Article 2, Section 3 (§2.3.4) relating to Town of Broadway’s Planning Board appointments to align the language with recently updated Town of Broadway municipal code language.
4. **ZONING TEXT AMENDMENT; CASE 2026-0104**
Staff-initiated text amendments for Article 4 of the Unified Development Ordinance (UDO), including the following:
 - The addition of an exemption from the lot width-to-depth ratio for cul-de-sac lots as a result of a major subdivision, which shall be included as a note in Table 4.7-1’s Density and Dimensional Standards.
 - The removal of detached single-family dwellings (site-built and modular) and attached single-family dwellings as permitted uses within the MF-12 (multifamily) zoning district.

- Updates for development standards to the recently established Village Neighborhood Development (VND), including the expansion of lot type options, increasing the minimum number of lots that would trigger a necessary change in lot types provided from 125 to 200, replacing the 1:1 ratio for required lot types with a 5% minimum requirement, and the inclusion of new permitted lot design options for developers.

5. ZONING TEXT AMENDMENT; CASE 2026-0105

Staff-initiated text amendment for Article 6 of the Unified Development Ordinance (UDO) to amend §6.7.1.2.1 by changing the threshold for two access points within a new subdivision from 30 lots to 100 lots to align with NC Fire Code standards.

6. ZONING TEXT AMENDMENT; CASE 2026-0106

Staff-initiated text amendments for Article 10 of the Unified Development Ordinance (UDO) to add the following new language:

- Clarifying language for §10.1.3.2 regarding the purpose of landscape screening for outdoor storage.
- Clarifying language for §10.1.3.7 regarding outdoor storage being permitted only as an accessory use to align with long-standing interpretations of the UDO.
- Clarifying language for §10.7.2.3 that puts commercial development’s architectural design within Sanford’s local historic districts under the purview of the Historic Preservation Commission
- Clarifying language for §10.7 that includes specific conditions in which pedestrian connectivity is required for commercial development.

F. OTHER BUSINESS - None

G. REPORTS – Actions by Sanford City Council

H. ADJOURNMENT

**MINUTES OF THE REGULAR MEETING OF THE
CITY OF SANFORD PLANNING BOARD
SANFORD, NORTH CAROLINA**

The Sanford Planning Board met with the Sanford City Council at 6:00 PM on Tuesday, December 16, 2025, for a joint public hearing in the Council Chambers of the Sanford Municipal Center at 225 E. Weatherspoon Street, Sanford, N.C. 27330. At 6:24 PM, the Planning Board moved to the West End Conference Room, after the joint public hearing, to conduct a regular meeting.

ROLL CALL

Members Present: Ken Britton, Chair
Jeff Foster, Vice-Chair
Brooks Gage, Alternate
Gloria Perez
Bill Murphy

Members Absent: Gina Bycura

Staff Present: Paulette Harmon, Clerk to the Board
Amy McNeill, Senior Planner

Brady Herman, Esquire, of the Brough Law Firm, PLLC, 1526 E. Franklin Street, Chapel Hill, N.C. 27514, served as the board's staff and legal counsel at this meeting-

MEETING CALLED TO ORDER

Having noted the presence of a quorum, Chair Britton called the meeting to order and read the Introduction by Chair statement on the agenda cover.

APPROVAL/DISAPPROVAL OF AGENDA

Chair Britton entertained a motion to approve an amended agenda, which included adding the Resolution by the City of Sanford Planning Board regarding the Lee County Schools—School Expansion Feasibility Update as item 1 under Other Business. Board member Murphy made the motion to approve the agenda, seconded by board member Perez and carried unanimously.

APPROVAL OF MINUTES

Chair Britton entertained a motion to approve the November 18, 2025 meeting minutes. Board member Gage motioned to approve the minutes, seconded by board member Murphy and carried unanimously.

DISCLOSURE OF CONFLICTS OF INTEREST

Chair Britton asked each board member to disclose any conflicts of interest in the matters to be considered by the Board this evening. There were none.

NEW BUSINESS

1. ZONING MAP AMENDMENT / REZONING APPLICATION; CASE 2025-1201
Application by CASTO-CCM Sanford Owner, LLC to rezone 44.78 acres +/- comprised of Riverbirch Corner shopping center at 1015-1133 Spring Lane, one outparcel at 1135 Spring Lane,

and two adjoining vacant parcels from General Commercial (C-2) and Office & Institutional (O&I) to General Commercial Conditional Zoning District (C-2-C) to allow the redevelopment of a shopping center with it's own unique signage and landscaping standards. The subject property is identified as Lee County Tax Parcels 9643-01-0668-00, 9633-92-8481-00, 9643-02-3208-00 and 9643-00-5683-00 as depicted on Tax Maps 9643.03 and 9633.04.

DISCUSSION

After an overview of the rezoning application and information provided at the public hearing, Chair Britton opened deliberation for discussion.

Board member Gage requested clarification on the location of the proposed grocery store. Staff person McNeill replied that the grocery store would be located in Building C illustrated on the site plan included in the agenda packet.

Board member Murphy asked if the outparcel is included in the rezoning request and if it will be demolished or redeveloped. Staff person McNeill replied that the outparcel is indeed part of the subject property included in the rezoning request. She further noted that whether the structure would be demolished or redeveloped would need to be addressed by the applicant. Board member Murphy then asked the applicant to answer this question. The applicant representative, Chris Grimes with Casto-CCM Sanford Owner, LLC, stated the intent is to demolished the existing structure, a former bank building, that is on the outparcel.

Board member Gage stated that, from a design perspective, when a project of this nature is modified, it can be preferable for it to return with a completely revised design.

Chair Britton asked staff if there were any landscape or signage concerns. He noted that the staff analysis appeared ambiguous regarding clear direction and inquired whether there were any significant concerns beyond the unique nature of the signage request, including frontage aspect ratios and proposed sign sizes. Staff person McNeill replied that the site is a unique redevelopment with buildings larger than those typically found in the area. She noted that some prospective tenants have specific signage requirements as a condition of locating in the community. Regarding landscaping, she explained that the elimination of internal landscaping is appropriate in this case to allow the site to function and be perceived as a unified development. She further noted that the project is a redevelopment of an existing site rather than development of a vacant parcel, requiring accommodation of existing conditions. For this reason, the applicant is requesting flexibility not to reduce the overall amount of landscaping along Spring Lane, but to allow it to be shifted to better accommodate existing site conditions.

Chair Britton asked the applicant if the sign standards for the anchor tenants differed from those at their other locations. Mr. Grimes stated that the signage proposed to be used at this location is the tenant's standard signage for other locations nationwide.

Board member Perez asked the applicant to repeat his earlier comment during the public hearing about Elizabeth's Pizza (referencing Elizabeth's Pizza & Italian Restaurant at 1009 Spring Lane), stating she had missed it. Mr. Grimes explained that Elizabeth's has expressed concern

about potential impacts to their business during the pre-construction phase. He noted that the owners of Elizabeth's, the husband, wife and son, attended the neighborhood meeting. He stated that they have had ongoing conversations with the family and will continue coordinating the timing of the road work with them. The main entry road, which wraps around the pond, will be rebuilt and slightly realigned. During construction, similar to standard road-widening practices, one half of the road will be closed while the other remains open, then they will switch sides. Mr. Grimes emphasized that they will work with the family to maintain business visibility, including signage and access support, since the road through the shopping center provides direct access to their property.

Chair Britton added that he could imagine similar concerns arising with the pediatric dentist (referencing Sanford Pediatric Dentistry at 1011/1013 Spring Lane). Mr. Grimes stated that the pediatric dentist did not attend the neighborhood meeting, but anyone accessing the dentist office must use the same access as Elizabeth's. He added that any coordination or measures taken for Elizabeth's will also apply to the pediatric dentist.

Chair Britton asked the applicant if the buildings occupied by Elizabeth's or the pediatric dentist will be part of the redevelopment project. Mr. Grimes replied no, they are not part of the redevelopment.

Chair Britton stated that cohesiveness is an important design consideration and asked if there had been any discussion with the pediatric dentist or Elizabeth's regarding the cohesiveness of buildings, standards, and landscaping between their properties. Mr. Grimes replied that the existing tenants have not approached his firm with any questions or requests to review the redevelopment plans. He added that his firm would be happy to share the redevelopment plans for the overall design and appearance. He noted that the TRC package posted on the City website includes site design and building elevations and that his firm is open to discussing the plans with the tenants.

DECISION

With no further discussion, Chair Britton opened the floor for a motion regarding consistency with the *Plan SanLee*.

Board member Murphy made a motion that the proposed zoning map amendment is consistent with the *Plan SanLee* long range plan designation of Mixed-Use Activity Center, because this placetype encourages shopping center type development (i.e. single master-planned unit that is contextually integrated into surrounding development pattern with strong mobility linkages and is within close proximity to highway interchanges and major arterials. Board member Foster seconded the motion, and it carried unanimously.

Board member Murphy made a motion that Planning Board recommend the City Council approve the proposed zoning map amendment because it is reasonable and in the public interest given that it would allow the redevelopment of an existing shopping center with development standards that meet the intent of the UDO. Board member Gage seconded the motion, and it carried unanimously.

OTHER BUSINESS

Discussion of a proposed resolution regarding the School Expansion Feasibility Update. See Exhibit A.

Staff person McNeill distributed a paper copy of the resolution and stated that at the direction of the board, she created this draft resolution based on the discussion of this matter at the November meeting. She invited the board to review it and make any changes as needed.

Board member Murphy stated that the draft is very good, noting that it encourages the schools to do the right thing without dictating what that right thing is.

Board member Gage stated that she had concerns about overcrowding and other challenges that those working at the ground level likely experience because the type of information included in the study may not be reaching the appropriate decision-makers.

Staff person McNeill stated that the study had already been presented to the Lee County School Board and is simply being shared with the Planning Board as well.

Chair Britton asked staff whether any other governing bodies had reviewed the study and issued similar responses or resolutions to the Lee County Commissioners. Staff person McNeill explained that, in her role as staff to planning boards, she is aware that the Broadway Planning Board and the Lee County Planning Board received this information. The Broadway Planning Board has not had a meeting since this information was email to them and they have not forwarded any comments. The Lee County Planning Board reviewed the study and discussed it internally, but did not make a formal recommendation to the Lee County Commissioners. She added that she does not know whether the governing boards for all three jurisdictions have reviewed the information.

Chair Britton asked staff whether their resolution would also be sent to the Lee County Commissioners. Staff person McNeill replied that, after conferring with her supervisor, Marshall Downey, she was reminded that the Planning Board serves as a recommending board to the Sanford City Council, which is their governing board and the body that appointed them. She explained that the resolution may go to the City Council to make them aware that the Planning Board has reviewed the document and considers it important. She added that the wording can be adjusted if needed before adoption.

Board member Murphy stated that he agrees with the draft as written, but wants to emphasize its importance. He recalled that Marshall Downey had mentioned in his presentation to this board six to eight months ago that the county population could reach 80,000 to 100,000 in the near future. He added that some of the data in the study is already outdated, as it reflects last school year, and noted that the schools seem to be approaching capacity limits.

Chair Britton stated that during the planning process - covering not only the identification and acquisition of land, but also capital improvements - many of the schools will already be experiencing overcapacity. He added that addressing these issues is not only the right thing to do for the health of the community and the quality of education, but it also has significant

implications for economic development across the County and its municipalities. He emphasized that a well-planned, solid education system is foundational; supporting both capital planning and community assets. Additionally, he noted that strong educational planning helps attract and retain the best teachers, which in turn strengthens the local economy. He concluded by affirming that, while the importance may be understated, the resolution is well articulated and effectively communicates these points.

Staff person McNeill stated that if the board approves the resolution, she will confer with Marshall Downey regarding how best to move it forward with regard to sharing this information with the City Council.

Chair Britton acknowledged that everyone is a stakeholder in some way, but emphasized that Mrs. Perez experiences the school system daily and sees firsthand the impacts on both the quality of education and the staff and teachers. He noted that while others can observe these effects anecdotally, the passion comes from those living it every day.

Board member Perez stated that everyone needs to recognize that approving the measures included in the resolution requires comprehensive commitment, noting that schools cannot be built or improved overnight.

Board member Murphy asked staff if someone from the Planning Board presenting the resolution to the City Council would make it more impactful. Staff person McNeill replied that if the board decides to adopt the resolution, she will confer with Marshall Downey and then reach out to the board via email with his guidance on the next step.

DECISION

Chair Britton stated that, with no further discussion needed, he would entertain a motion to adopt the resolution from the Sanford City Planning Board regarding the Lee County Schools, School Expansion Feasibility Update. Board member Murphy motioned that the board adopt and approve the resolution, seconded by Vice-Chair Foster and carried unanimously.

STAFF REPORTS

Staff person McNeill verbally presented the Actions of the City Council staff report to the Board.

ADJOURNMENT

With no further business to come before the Board, Vice-Chair Foster made the motion to adjourn, seconded by board member Perez, and carried unanimously. The meeting was adjourned at 6:48 PM.

Adopted this _____ day of _____, 2025.

BY: _____
Ken Britton, Chair

ATTEST: _____
Paulette S. Harmon, Clerk to the Board

This is general information provided by the Lee County Attorney for inclusion in the Lee County Planning Board agenda packet as a reference for board members as of 2022-04-18. Staff has added this information to the agenda packets for the Planning Board and Board of Adjustment for Sanford and Broadway also.

Conflict of Interest Policy Related to Land Use Decisions

Pursuant to North Carolina General Statutes 160D-1-9, the following conflict of interest policies will apply to all land use decisions coming before staff, appointed boards or the governing boards as follows:

For Governing Board Members – Sanford City Council

A Sanford City Council member shall not vote on any legislative decision regarding a development regulation adopted pursuant to Chapter 160D, where the matter being considered is reasonably likely to have a direct, substantial, and readily identifiable financial impact on the member. A Council member shall also not vote on any zoning amendment if the landowner of the property subject to a rezoning petition or the applicant for a text amendment is a person with whom the member has a close familial, business or other associational relationship.

For Appointed Board Members – City of Sanford Planning Board & Board of Adjustment

Members of the appointed boards shall not vote on any advisory or legislative decision regarding a development regulation where the outcome of the matter being considered is reasonably likely to have a direct, substantial and readily identifiable financial impact on the member. Further, an appointed board member shall not vote on any zoning amendment of the landowner of the property subject to a rezoning petition or the applicant for a text amendment is a person with whom the member has a close familial, business, or other associational relationship. A close familial relationship means a spouse, parent, child, brother, sister, grandparent, or grandchild. The term includes the step, half, and in-law relationships.

For members of any board exercising quasi-judicial functions, the member shall not participate in or vote on any quasi-judicial matter in a manner that would violate affected persons' constitutional rights to an impartial decision maker. Impermissible violations of due process include, but are not limited to, a member having a fixed opinion prior to hearing the matter that is not susceptible to change, undisclosed ex-parte communications, a close familial, business, or other associational relationship with an affected person, or a financial interest in the outcome of the matter.

For Administrative Staff – Sanford/Lee County Community Development Department Staff

No staff member shall make a final decision on an administrative decision if the outcome of that decision would have a direct, substantial, and readily identifiable financial impact on the staff member or if the applicant or other person subject to that decision is a person with whom the staff member has a close familial, business, or other associational relationship. A close familial relationship means a spouse, parent, child, brother, sister, grandparent, or grandchild. The term includes the step, half, and in-law relationships. If a staff member has a conflict of interest, the decision shall be assigned to the supervisor of the staff person or such other staff person as may be designated by the development regulation or other ordinance.

No staff member shall be financially interested or employed by a business that is financially interested in a development subject to regulation under the UDO unless the staff member is the owner of the land or building involved. No staff member or other individual or an employee of a company contracting with a local government to provide staff support shall engage in any work that is inconsistent with his or her duties or with the interest of the local government, as determined by the local government.

SANFORD / LEE COUNTY / BROADWAY

CONDITIONAL ZONING MAP AMENDMENT APPLICATION



Sanford/Lee County Community Development Dept. 115 Chatham Street, Sanford, NC 27330

Contact Person: Amy McNeill, Senior Planner at amy.mcneill@sanfordnc.net or (919) 718-4656, ext. 5397

This application is intended for the conditional rezoning of a site to allow particular land uses to be established in accordance with specific standard and conditions pertaining to each individual development project.

Type 1 Conditional Zoning is intended for an applicant who seeks to create a stand-alone district with its own unique conditions, under which a property owner has the freedom to create his/her own unique list of permitted uses and design standards.

Type 2 Conditional Zoning is intended for applicants who seek to place additional conditions upon an existing, equivalent conventional general use zoning district. This rezoning is ideal for applicants who would like to reduce or narrow the permitted uses available for a particular property or impose a higher level of design standards than that which exists within an equivalent general use zoning district.

A **site plan and/or subdivision plan** illustrating the specific land uses, design elements, and other characteristics of the development is required.

Jurisdiction: CITY OF SANFORD LEE COUNTY TOWN OF BROADWAY

Applicant Name: Michael J. Kane, P.E. of Atwell, LLC d/b/a Atwell, PLLC

Applicant Mailing Address: 209 N Salem St, Ste 220 Apex, NC 27502

Applicant Phone: 919 249-8587 Applicant Email: _____

Property Owner Name & Address (if different from applicant): Centerpoint Investments, LLC
PO Box 1897, Apex, NC 27502

Location of Subject Property: 0 & 2813 Rosser Rd, 3103 & 3107 S Horner Blvd,

Lee County Parcel ID (PIN): 9652-90-4777-00, 9652-90-~~5390~~-00, 9661-09-2400-00, 9661-08-9921-00

Total Acreage of Site: 36.9 acres Existing Land Use(s): 5359 (AJMc) Vacant

Zoning Classification: Current: Ashby Village CZ Requested: Ashby Village CZ (amendment)

Reason(s) for Requesting a Zoning Map Amendment (Rezoning): To provide more detail to the O&I and C-2 (Village Concept) portions of the approved conditional rezoning. This document will set the conditions for development including infrastructure improvements, allowable uses and revisions to the UDO that set development parameters within the C-1 (Village Concept) and O&I area of the Ashby Village Zoning District. Upon approval of this conditional rezoning amendment, development plans shall not require the approval of Sanford City Council prior to issuance of development permits so long as development adheres to conditions placed in this document.

Describe in detail any additional conditions of development proposed as part of the Conditional Zoning District. **Conditions may be listed on additional, separate sheets, if necessary. Additionally, a scaled site plan and/or subdivision plan shall be submitted illustrating all conditions as described in the text.**

LAND USES *Provide specific details on what land uses are explicitly permitted or prohibited.*

[See sheets C7 & C8 of approved concept plan for conditions for C-1 \(Village Concept\) and O&I areas.](#)

DENSITY *For residential development, how many dwelling units per acre are proposed.*

N/A

VEHICULAR ACCESS *Parking lots, driveway access, street design.*

[See sheets C5 & C6 of approved concept plan for proposed public and private streets and public improvements to S Horner Blvd.](#)

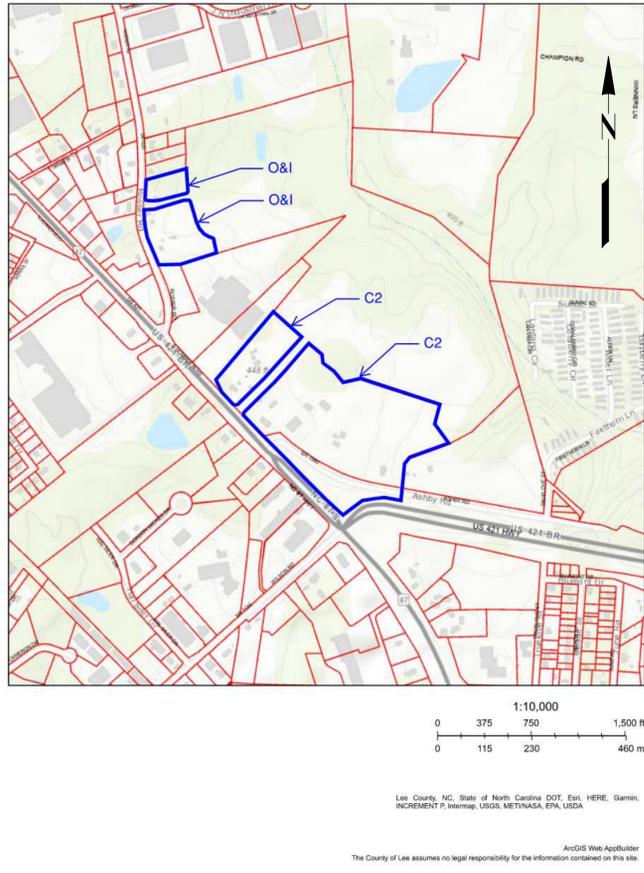
LANDSCAPING *Perimeter buffers, street yard and parking lot plantings, street trees.*

[See sheets C7 & C8 of approved concept plan for conditions for C-1 \(Village Concept\) and O&I areas. Development to follow requirements of the UDO except for the specific revisions listed on C7 & C8 regarding buffer yards and street yards.](#)

OPEN SPACE *Areas for passive and active recreation, common areas, or site amenities.*

[See sheets C7 & C8 of approved concept plan for conditions for C-1 \(Village Concept\) and O&I areas. Additional standards listed for Outdoor space.](#)

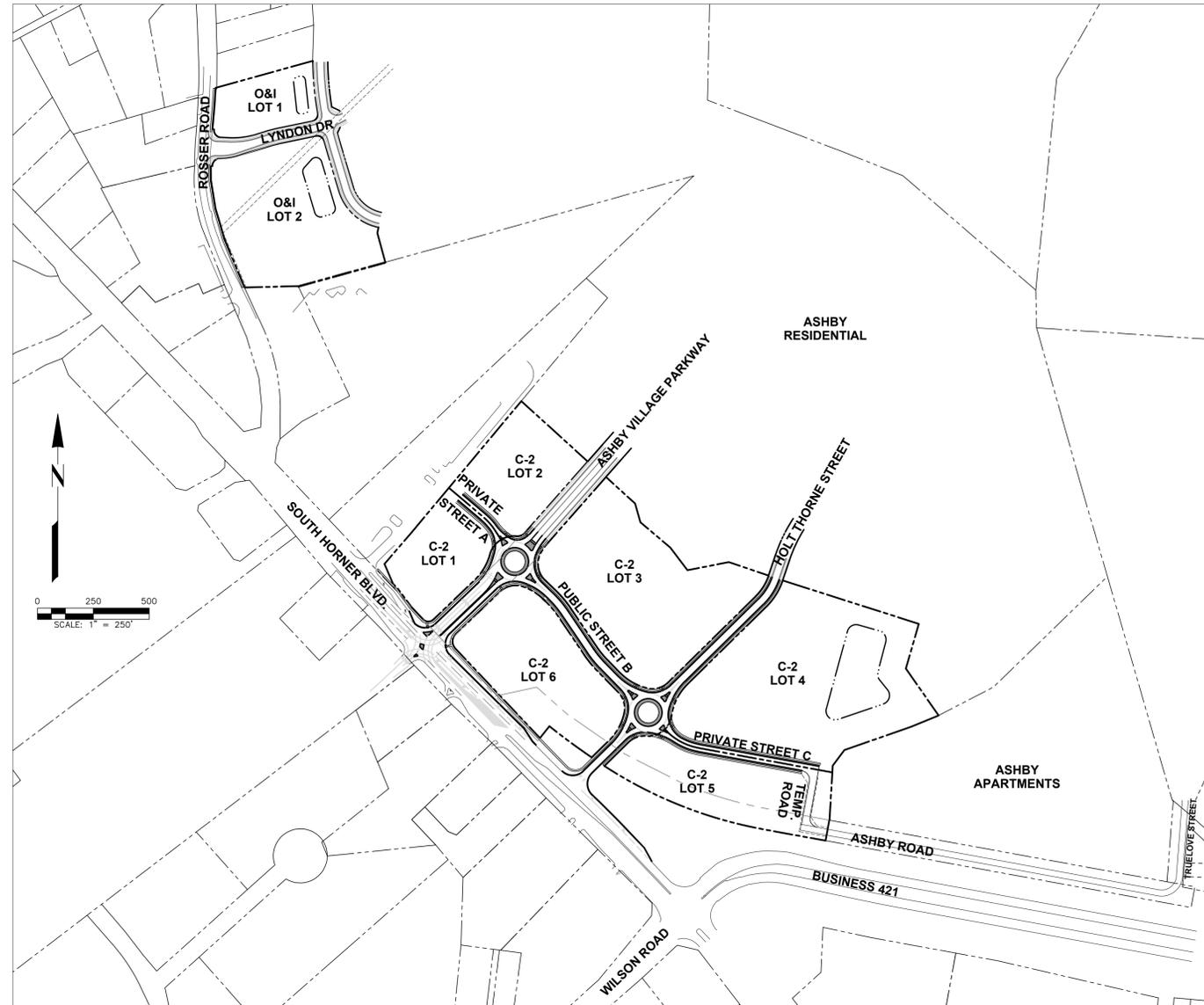
VICINITY MAP



CONDITIONAL REZONING AMENDMENT TO ORD-2021-92-CZ ASHBY VILLAGE COMMERCIAL AND OFFICE PARK SANFORD, NORTH CAROLINA

APPROVED
TRC CONCEPT PLAN

APPROVED 11/06/25



PROJECT OVERVIEW
SCALE: 1" = 250'

CONDITIONAL REZONING AMENDMENT NOTES

1. THIS DOCUMENT AND SUBSEQUENT APPROVALS BY THE CITY OF SANFORD PLANNING BOARD AND CITY COUNCIL SHALL SERVE AS A CONDITIONAL REZONING AMENDMENT FOR THE CONDITIONAL REZONING FOR ASHBY VILLAGE CONDITIONAL ZONING DISTRICT THAT WAS APPROVED ON SEPTEMBER 7, 2021 AND IDENTIFIED AS ORD-2021-92-CZ.
2. THIS DOCUMENT AND SUBSEQUENT APPROVALS BY THE CITY OF SANFORD PLANNING BOARD AND CITY COUNCIL SHALL ONLY APPLY TO THE AREAS DESIGNATED AS COMMERCIAL (C-2 VILLAGE CONCEPT) AND O&I AS IDENTIFIED ON EXHIBIT B OF APPROVED ORD-2021-92-CZ.
3. THIS DOCUMENT WILL SET CONDITIONS FOR DEVELOPMENT INCLUDING INFRASTRUCTURE IMPROVEMENTS, ALLOWABLE USES AND REVISIONS TO THE UDO THAT SET DEVELOPMENT PARAMETERS WITHIN THE COMMERCIAL (C-2 VILLAGE CONCEPT) AND O&I AREA OF THE ASHBY VILLAGE ZONING DISTRICT.
4. UPON APPROVAL OF THIS CONDITIONAL REZONING AMENDMENT, DEVELOPMENT PLANS SHALL NOT REQUIRE THE APPROVAL OF SANFORD CITY COUNCIL PRIOR TO THE ISSUANCE OF DEVELOPMENT PERMITS SO LONG AS DEVELOPMENT ADHERES TO CONDITIONS PLACED IN THIS DOCUMENT.
5. LOTS AS SHOWN MAY BE FURTHER DIVIDED FROM ONE TO UP TO FIVE LOTS WITH SUBSEQUENT ADMINISTRATIVE SITE PLAN AND MINOR SUBDIVISION PLAT SUBMITTALS.

ASHBY ROAD CLOSURE SEQUENCE

1. A CONNECTION FROM SOUTH HORNER BLVD TO ASHBY ROAD AND TRUELOVE STREET SHALL BE MAINTAINED AT ALL TIME.
2. ASHBY ROAD RIGHT-OF-WAY WAS TRANSFERRED FROM NCDOT TO THE CITY OF SANFORD ON JULY 9, 2025.
3. DEVELOPER SHALL CONSTRUCT PUBLIC STREET B AND PRIVATE STREET C FROM ASHBY VILLAGE PARKWAY TO ASHBY ROAD AS SHOWN ON THESE PLANS.
4. ONCE CONNECTION IS MADE, THE REMAINING ASHBY ROAD AND INTERSECTION OF ASHBY ROAD AND SOUTH HORNER BLVD. CAN BE REMOVED.

SHEET INDEX

- | | |
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| C1 | COVER SHEET |
| C2 | APPROVED REZONING |
| C3 | COMMERCIAL C2 EXISTING CONDITIONS |
| C4 | O&I EXISTING CONDITIONS |
| C5 | COMMERCIAL C2 LAYOUT |
| C6 | O&I LAYOUT |
| C7 | COMMERCIAL C2 ZONING CONDITIONS |
| C8 | O&I ZONING CONDITIONS |
| C9-C10 | ARCHITECTURAL RENDERING / MATERIALS |

PROPERTY OWNER

CENTERPOINT INVESTMENTS, LLC
P.O. BOX 1897
APEX NC 27502
310-962-1104
NORTHSTARPRO2023@GMAIL.COM

ENGINEER

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209 NORTH SALEM STREET
SUITE 220
APEX NC 27502
919-249-8587
MICHAEL.KANE@ATWELL.COM

PROJECT MANAGER

DEVELOPMENT AND CONSTRUCTION INSIGHT, LLC
2054 KILDAIRE FARM ROAD
CARY NC 27518
919-473-3385
JACKSON.HENDRICKS@DCINSIGHTLLC.COM

ASHBY VILLAGE COMMERCIAL AND OFFICE PARK
CONDITIONAL REZONING AMENDMENT
SANFORD, NC
CONDITIONAL REZONING AMENDMENT
COVER SHEET



209 N SALEM ST, STE 220, APEX, NC 27502
PH 919 249-8587 WWW.ATWELL.COM
ATWELL, LLC 6/16/20 ATWELL, PLLC P-2380



DATE
OCTOBER 14, 2025

ISSUED FOR
TRC REVIEW

SHEET NO.

C1

AN ORDINANCE AMENDING THE OFFICIAL ZONING MAP OF THE CITY OF SANFORD, NORTH CAROLINA

WHEREAS, a request to amend the Official Zoning Map has been received from Ashby Village, LLC to rezone 19 adjoining tracts of land totaling 153.4 ± acres with frontage on NC Hwy 87 S, US Hwy 421, Rosser Road, and Broadway Road, identified as Lee County Tax Parcels 9662-00-2971-00, 9652-90-4508-00, 9652-90-6299-00, 9662-00-1085-00 (portion of), 9661-09-1785-00 (portion of), 9662-11-7367-00 (portion of), 9661-18-9674-00, 9661-18-6812-00, 9661-18-1562-00, 9661-09-4453-00, 9661-19-7499-00, 9661-09-1700-00, 9661-09-0175-00, 9661-08-2972-00, 9661-08-4963-00, 9661-19-0040-00, 9661-08-8605-00, 9662-10-3327-00, and 9661-09-2049-00 as depicted on Lee County Tax Maps 9642.02, 9642.04, 9634.01 and 9634.03, from General Commercial (C-2), Residential Single-family (R-20), Sanford Marketplace District Conditional Zoning District (SMDCZ) and Light Industrial (LI) to the Ashby Village Conditional Zoning District to allow the development of a commercial and residential development as illustrated on the Ashby Village Conceptual Development Plan submitted as part of the application and with the conditions submitted as part of the rezoning application; and

WHEREAS, said request has been presented to the Planning Board of the City of Sanford; and

WHEREAS, the City Council of the City of Sanford conducted a public hearing on August 17, 2021 to receive citizen input on the requested zoning map amendment; and

WHEREAS, the City Council of the City of Sanford approves the request to amend the Official Zoning Map of the City of Sanford;

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF SANFORD:

The Official Zoning Map is hereby amended to rezone 19 adjoining tracts of land totaling 153.4 ± acres with frontage on NC Hwy 87 S, US Hwy 421, Rosser Road, and Broadway Road, identified as Lee County Tax Parcels 9662-00-2971-00, 9652-90-4508-00, 9652-90-6299-00, 9662-00-1085-00 (portion of), 9661-09-1785-00 (portion of), 9662-11-7367-00 (portion of), 9661-18-9674-00, 9661-18-6812-00, 9661-18-1562-00, 9661-09-4453-00, 9661-19-7499-00, 9661-09-1700-00, 9661-09-0175-00, 9661-08-2972-00, 9661-08-4963-00, 9661-19-0040-00, 9661-08-8605-00, 9662-10-3327-00, and 9661-09-2049-00 as depicted on Lee County Tax Maps 9642.02, 9642.04, 9634.01 and 9634.03, from General Commercial (C-2), Residential Single-family (R-20), Sanford Marketplace District Conditional Zoning District (SMDCZ) and Light Industrial (LI) to the Ashby Village Conditional Zoning District to allow the development of a commercial and residential development as illustrated on the Ashby Village Conceptual Development Plan submitted as part of the application. See Exhibits A,B, and C included for reference.

2021-92

In making this decision, the City Council of the City of Sanford hereby acknowledges that the request is consistent with the *Plan Sanford* long range land use plan designation of Mixed-Use Activity Center because the proposed project associated with this request would facilitate the development of large-scale integrated mix of uses designed as a single master-planned unit, but contextually integrated into the surrounding development pattern, including mobility linkages with close proximity to highway interchanges and major arterials. It is consistent with the Commercial Corridor designation because there is established commercial development along a high-transportation routes that traditionally has a "strip" type development pattern with connectivity and access improvements typically required for future redevelopment. It also appears to be reasonable and in the public interest given that commercial development is proposed along the front of the site along the busy roadways, which transitions to multi-family and then to single-family residential and the site has access to public water and sewer.

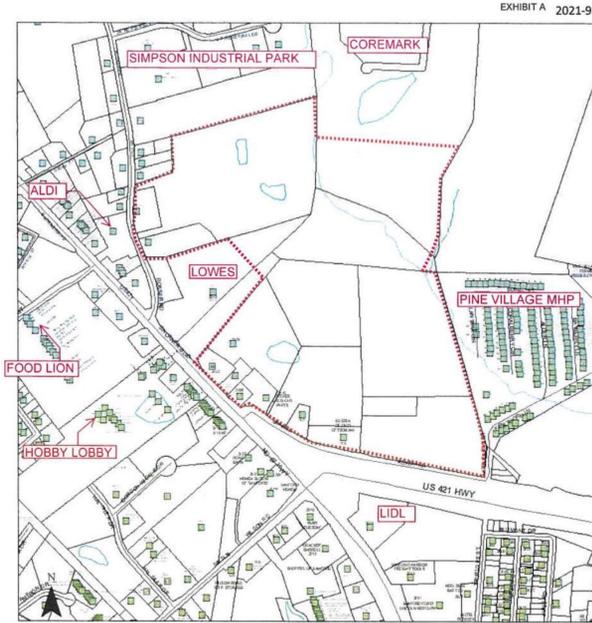
ADOPTED this the 7th day of September 2021.

T. Chet Mann
T. Chet Mann, Mayor

ATTEST:
Bonnie Davis
Bonnie Davis, City Clerk

APPROVED AS TO FORM:
Susan C. Patterson
Susan Patterson, City Attorney

2021-92



REZONING APPLICATION
Application by Ashby Village LLC
to rezone 19 tracts of land with frontage on Rosser Road and NC Hwy 87 S to the Ashby Village CZ District.

This is a graphic illustration and not a legal document.
All information is comprised of layers of data that may or may not align correctly.

EXHIBIT A 2021-92

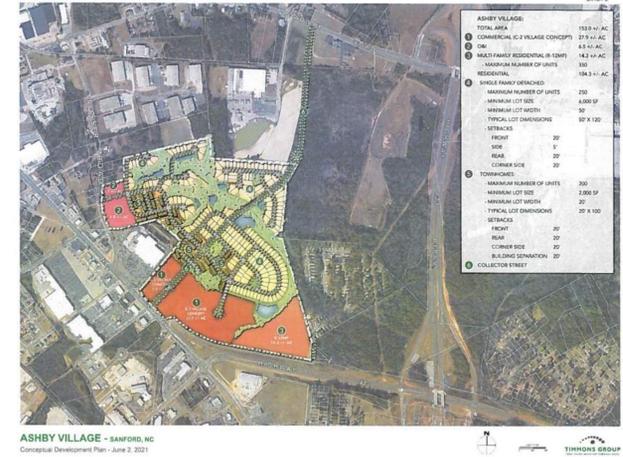


EXHIBIT C 2021-92
\$750 FEE, CONDITIONAL REZONING
(\$750 total conditional rezoning fee, no standard rezoning fee included with this request.)
Application No. 2021-0903
Energov Case No. CZMA-003806-2021

City of Sanford-Lee County-Town of Broadway
SUPPLEMENTAL APPLICATION
FOR CONDITIONAL ZONING DISTRICT
To be submitted with a Zoning Map Amendment (Rezoning) Application

Circle the Jurisdiction that Applies:
City of Sanford Lee County Town of Broadway

- Type of Conditional Zoning District (Type 1 or Type 2) Type 1
- Describe in detail the use(s) requested as part of the Conditional Zoning District (use separate sheet if necessary):
Commercial Village, Office and Institutional uses, Residential uses - Multi-family, Townhomes and Single Family Detached. See the information provided for Item #3 for additional details.
- Describe in detail any additional conditions of development proposed as part of the Conditional Zoning District. Such conditions should include (as applicable):
 - The location on the property of the proposed use(s);
 - The number of dwelling units;
 - The location and extent of supporting facilities such as parking lots, driveways, and access streets;
 - The location and extent of all landscaping areas, buffer areas and other special purpose areas;
 - The timing of development;
 - The location and extent of rights-of-way and other areas to be dedicated for public purposes;
 - Details on architectural features and scale of proposed structures; and
 - The location and extent of any pedestrian elements (sidewalks, trails, etc.).

- Conditions may be listed on additional, separate sheets if necessary. Additionally, a scaled site plan shall be submitted illustrating all conditions as described in the text. All of the subject property is illustrated and labeled on the Conceptual Development Plan.
- C-2 Village Concept & Office & Institutional (O&I) areas would allow non-residential land uses, minimum lot sizes & densities as permitted in the areas indicated for each of these uses.
 - R-12MF would allow multi-family uses (apartments & townhomes) in the indicated areas.
 - Residential areas would allow Single Family Detached & Attached Townhomes as indicated on the concept plan.
 - Single Family Detached lots shall be a minimum lot size of 6,000 sf with minimum lot widths of 50' with the following setbacks for principle structures:
 - Front-20' as measured from the right of way of the public street;
 - Rear-20' as determined by the orientation of the house & rear property line; and
 - Side-5' as measured from the left & right side property lines.
 - All corner lots shall have two front yard setbacks.
 - Attached Townhomes shall have a minimum lot area of 2,000 sf with minimum lot widths of 20' with the following setbacks for principle structures:
 - Front-20' as measured from the right of way of the public street;
 - Rear-20' as determined by the orientation of the house & rear property line; and
 - Building separation of 20'.
 - All corner lots shall have two front yard setbacks. (Continued next page)
4. Signature(s) of Applicant (and Property Owners if different from Applicant).
I hereby acknowledge that the information contained herein is true. It is further understood that this application will be reviewed for completeness and accuracy and that it shall not be scheduled for official consideration until all required contents are submitted in proper form to the Sanford-Lee County Community Development Department.

Mark Lyckowski / MARK LYCKOWSKI Date 6-29-21
Signature (Sign & Print)
Ray Covington / RAY COVINGTON Date 6-29-21
Signature (Sign & Print)

Updated 2020-10-27 by AJMc

2021-92

Conditions continued from previous page:

- 1,800 square foot is the minimum square footage of single family detached homes
- All single family detached homes and townhomes must include a minimum of 30% stone or brick fronts
- Every 3rd home must be a different elevation
- All homes must include at least a single car enclosed garage
- All single family detached homes must include a dormer or front porch with roof elevation that varies from the main roof line
- All front and side yards must be sodded
- Rear yards can be seeded and strawed
- All driveways must be concrete
- All homes must have sidewalks to the front door

A detailed site plan/subdivision plat that corresponds with the uses, conditions, design standards, and maximum densities denoted within this application and on the Conceptual Development Plan shall be required to be approved by the Sanford City Council prior to the issuance of development permits for the parcels included within Ashby Village.

2021-92

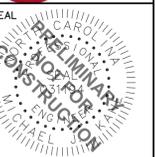


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ASHBY VILLAGE COMMERCIAL AND OFFICE PARK
CONDITIONAL REZONING AMENDMENT
APPROVED REZONING



209 N SALEM ST, STE 220, APEX, NC 27502
PH 919 249-8587 WWW.ATWELL.COM
ATWELL, LLC G/5/G ATWELL, PLLC P-2380



DATE
OCTOBER 14, 2025

ISSUED FOR
TRC REVIEW

SHEET NO.

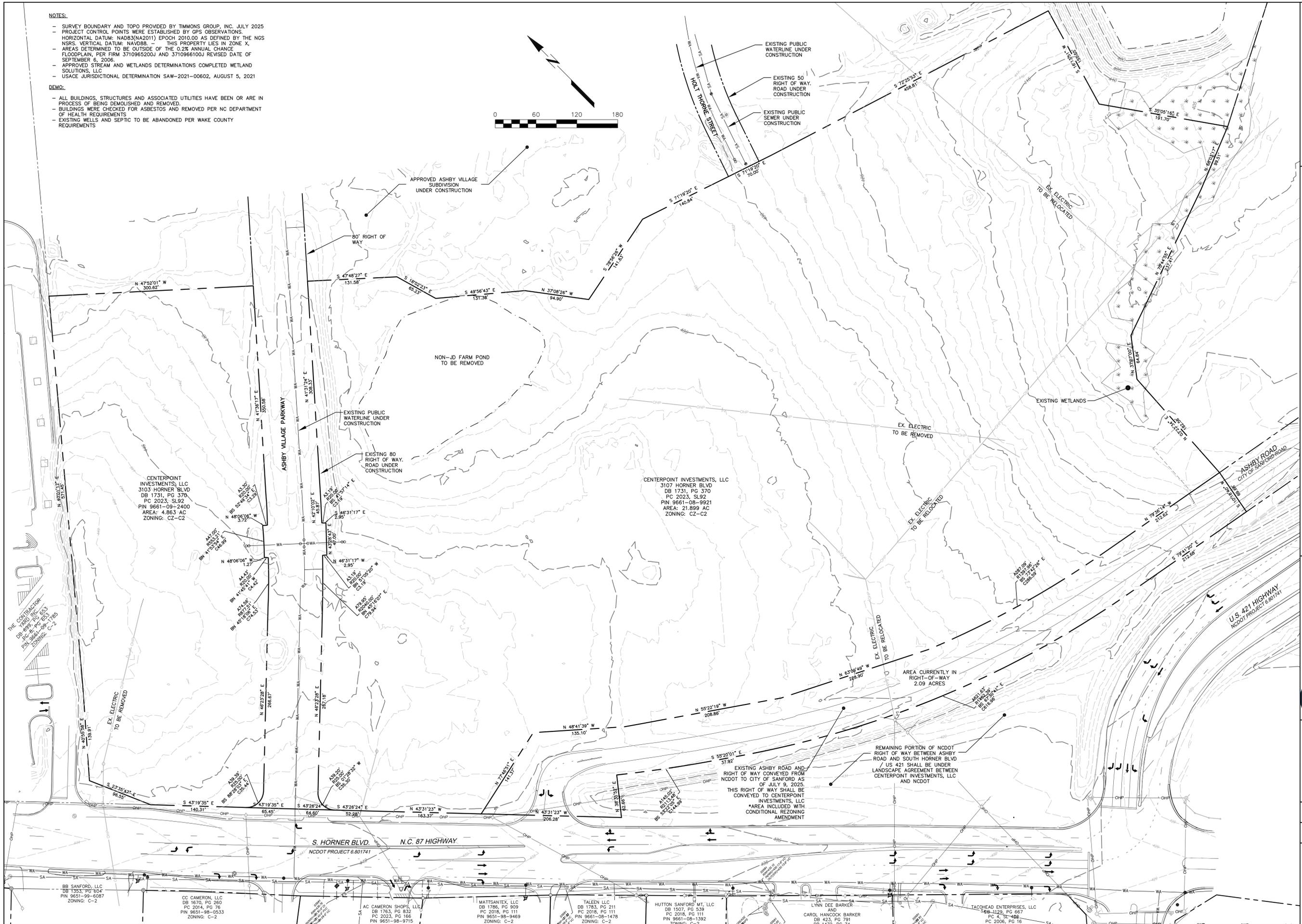
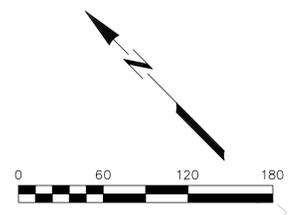
C2

NOTES:

- SURVEY BOUNDARY AND TOPO PROVIDED BY TIMMONS GROUP, INC. JULY 2025
- PROJECT CONTROL POINTS WERE ESTABLISHED BY GPS OBSERVATIONS
- HORIZONTAL DATUM: NAD83(NA2011) EPOCH 2010.00 AS DEFINED BY THE NGS NSRS. VERTICAL DATUM: NAVD88. THIS PROPERTY LIES IN ZONE X.
- AREAS DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN, PER FIRM 3710965200J AND 3710966100J REVISED DATE OF SEPTEMBER 6, 2006.
- APPROVED STREAM AND WETLANDS DETERMINATIONS COMPLETED WETLAND SOLUTIONS, LLC
- USACE JURISDICTIONAL DETERMINATION SAW-2021-00602, AUGUST 5, 2021

DEMO:

- ALL BUILDINGS, STRUCTURES AND ASSOCIATED UTILITIES HAVE BEEN OR ARE IN PROCESS OF BEING DEMOLISHED AND REMOVED.
- BUILDINGS WERE CHECKED FOR ASBESTOS AND REMOVED PER NC DEPARTMENT OF HEALTH REQUIREMENTS
- EXISTING WELLS AND SEPTIC TO BE ABANDONED PER WAKE COUNTY REQUIREMENTS



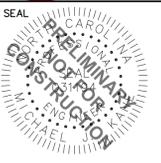
**ASHBY VILLAGE COMMERCIAL AND OFFICE PARK
CONDITIONAL REZONING AMENDMENT**

SANFORD, NC
CONDITIONAL REZONING AMENDMENT
COMMERCIAL C2 EXISTING CONDITIONS

ATWELL



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ATWELL, LLC 6/16/24 ATWELL, PLLC P-2380



DATE: OCTOBER 14, 2025
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SHEET NO.:

C3



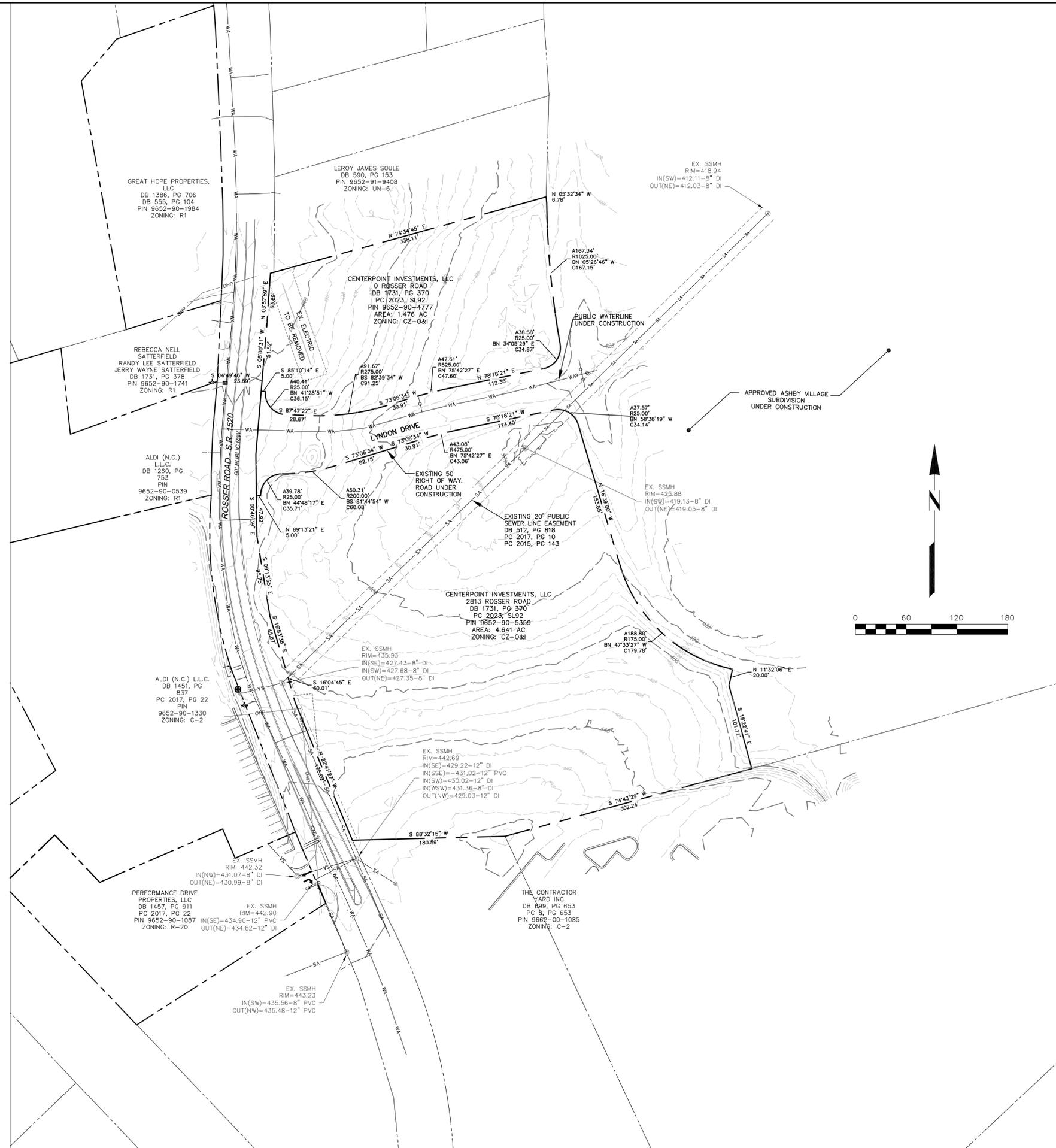
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- EXISTING WELLS AND SEPTIC TO BE ABANDONED PER WAKE COUNTY REQUIREMENTS



**ASHBY VILLAGE COMMERCIAL AND OFFICE PARK
CONDITIONAL REZONING AMENDMENT**

SANFORD, NC
CONDITIONAL REZONING AMENDMENT

O&I EXISTING CONDITIONS

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ATWELL, LLC G/5/G ATWELL, PLLC P-2380



DATE
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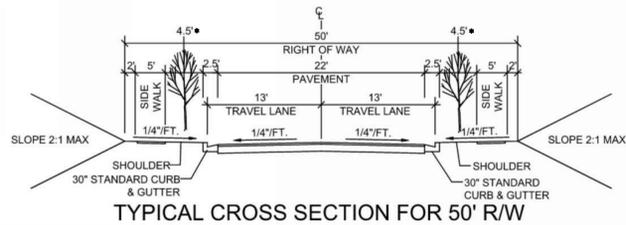
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SHEET NO.

C4



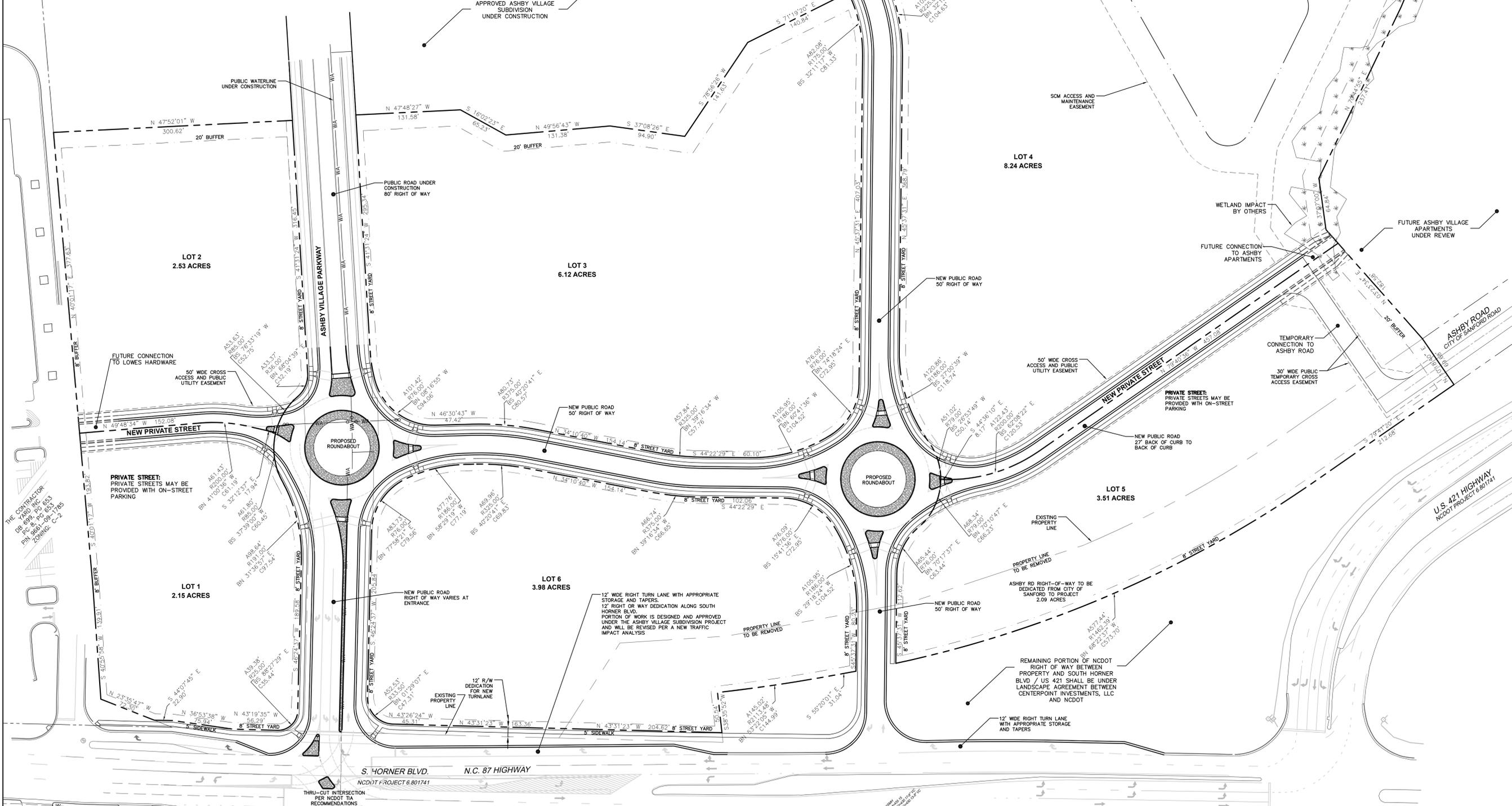
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SITE DESIGN NOTES:
 SITE FEATURES SUCH AS ROAD, SIDEWALKS, ROUNDABOUTS, TRAFFIC LANES AND MARKINGS, ETC. SHOWN ON THIS PLAN ARE ILLUSTRATIVE ONLY FOR THE PURPOSE OF THE CONDITIONAL REZONING AMENDMENT.
 LOTS AS SHOWN MAY BE FURTHER DIVIDED FROM ONE TO UP TO FIVE LOTS WITH SUBSEQUENT ADMINISTRATIVE SITE PLAN AND MINOR SUBDIVISION PLAT SUBMITTALS.



• STREET TREES TO BE PLACED OUTSIDE OF R/W IN 8' STREETYARD SETBACK



BB SANFORD, LLC DB 1333, PG 804 PC 2014, PG 78 PIN 9651-99-6087 ZONING: C-2	CC CAMERON, LLC DB 1670, PG 260 PC 2014, PG 78 PIN 9651-98-0533 ZONING: C-2	AC CAMERON SHOPS, LLC DB 1763, PG 832 PC 2023, PG 166 PIN 9651-98-9715 ZONING: C-2	MATTISANTEX, LLC DB 1786, PG 909 PC 2018, PG 111 PIN 9651-98-9469 ZONING: C-2	TALEN, LLC DB 1783, PG 211 PC 2018, PG 111 PIN 9661-08-1478 ZONING: C-2	HUTTON SANFORD MT, LLC DB 1507, PG 539 PC 2018, PG 111 PIN 9661-08-1392 ZONING: C-2	LYNN BEE BARKER AND CAROL HANCOCK BARKER DB 423, PG 791 DB 1472, PG 74 PC 2006, PG 16 PIN 9661-07-5908	SANACOEHEAD ENTERPRISES, LLC DB-1129, PG 667 PC 4, SL-490 PC 2006, PG 16 PIN 9661-07-5908
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DATE: OCTOBER 14, 2025
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 SHEET NO.:

C5

SITE DESIGN NOTES:
 SITE FEATURES SUCH AS ROAD, SIDEWALKS, ROUNDABOUTS, TRAFFIC LANES AND MARKINGS, ETC. SHOWN ON THIS PLAN ARE ILLUSTRATIVE ONLY FOR THE PURPOSE OF THE CONDITIONAL REZONING AMENDMENT.
 LOTS AS SHOWN MAY BE FURTHER DIVIDED FROM ONE TO UP TO FIVE LOTS WITH SUBSEQUENT ADMINISTRATIVE SITE PLAN AND MINOR SUBDIVISION PLAT SUBMITTALS.



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**ASHBY VILLAGE COMMERCIAL AND OFFICE PARK
 CONDITIONAL REZONING AMENDMENT**
 SANFORD, NC
 CONDITIONAL REZONING AMENDMENT
O&I CONCEPT LAYOUT



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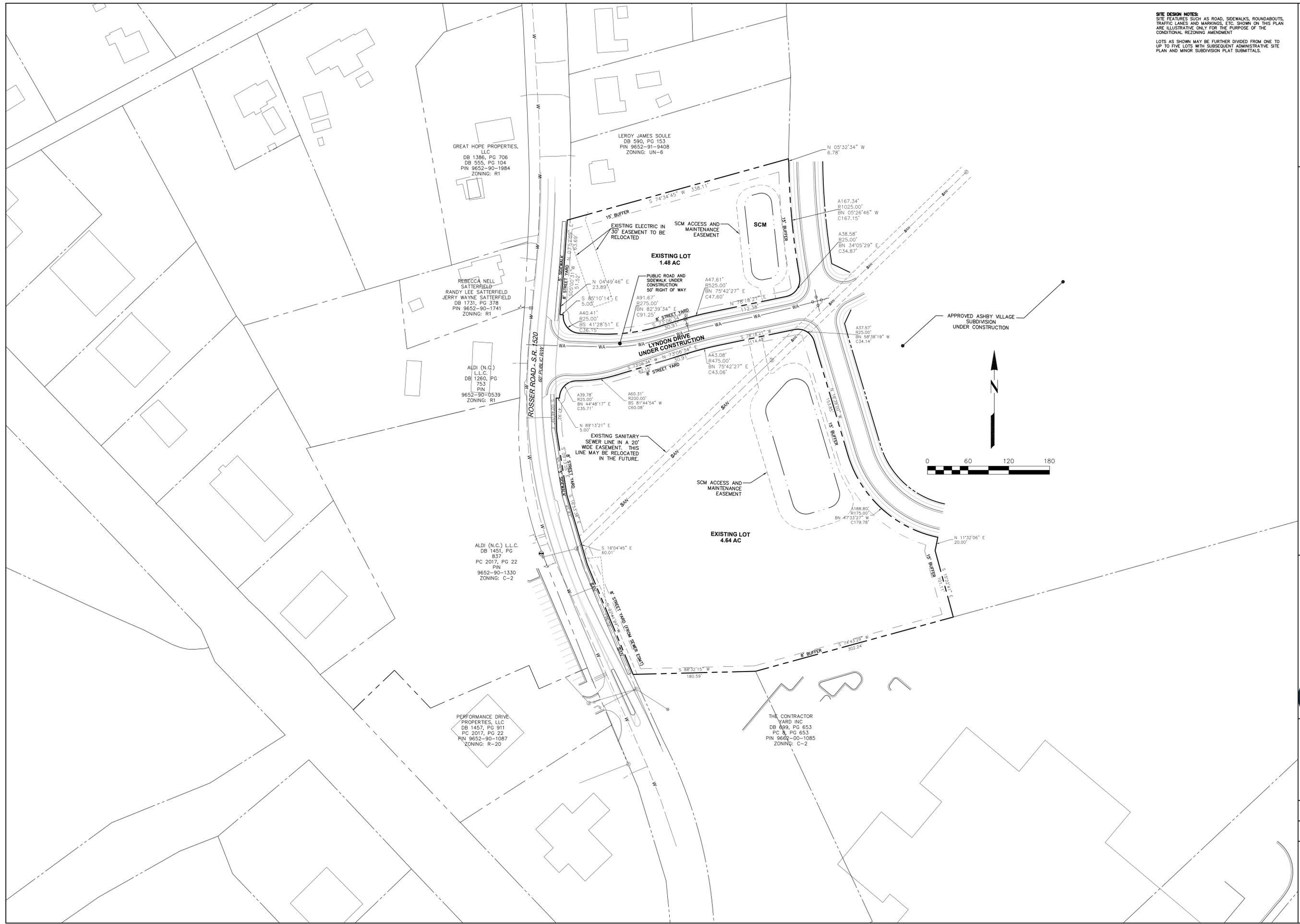


DATE: OCTOBER 14, 2025

ISSUED FOR: TRC REVIEW

SHEET NO.

C6



GREAT HOPE PROPERTIES, LLC
 DB 1396, PG 706
 DB 555, PG 104
 PIN 9652-90-1984
 ZONING: R1

LEROY JAMES SOULE
 DB 590, PG 153
 PIN 9652-91-9408
 ZONING: UN-6

REBECCA NELL
 SATTERFIELD
 RANDY LEE SATTERFIELD
 JERRY WAYNE SATTERFIELD
 DB 1731, PG 378
 PIN 9652-90-1741
 ZONING: R1

ALDI (N.C.) L.L.C.
 DB 1260, PG 753
 PIN 9652-90-0539
 ZONING: R1

ALDI (N.C.) L.L.C.
 DB 1451, PG 837
 PC 2017, PG 22
 PIN 9652-90-1330
 ZONING: C-2

PERFORMANCE DRIVE PROPERTIES, LLC
 DB 1457, PG 911
 PC 2017, PG 22
 PIN 9652-90-1087
 ZONING: R-20

THE CONTRACTOR YARD INC
 DB 899, PG 653
 PC 8, PG 653
 PIN 9662-00-1085
 ZONING: C-2

COMMERCIAL C2 VILLAGE CONCEPT REZONING AMENDMENT CONDITIONS

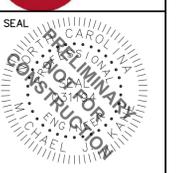


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ASHBY VILLAGE COMMERCIAL AND OFFICE PARK
CONDITIONAL REZONING AMENDMENT
SANFORD, NC
CONDITIONAL REZONING AMENDMENT
COMMERCIAL C2 ZONING CONDITIONS



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DATE
OCTOBER 14, 2025

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SHEET NO.

C7

ALL USES ALLOWED IN UDO SECTION 4.6 SHALL BE ALLOWED WITHIN THE C-2 ZONING DESIGNATION WITH THE FOLLOWING EXCEPTIONS:

Bed and breakfast inn
Dormitories for the students of colleges, commercial schools, staff of hospitals
Group Home / Residential Care Facility, Level I, II, III or IV
Nursing, Supervision, Adult Care Homes, Group Care Facilities and other rehabilitative services
Auction sales, general merchandise (no vehicular sales)
Flea markets (outdoors)
Freestanding Ice Vending Unit
Heavy Equipment, sales and service
Leasing, Commercial and Industrial Machinery and Equipment
Manufactured home and / or storage building sales
Mini-warehousing / Self-service storage leasing
Monument and cut stone sales
Motorcycle, Motorized Scooters, ATV Sales and/or Leasing / Rental (Outdoor display)
Motor Vehicles, (automobiles), Boats, RVs Sales and/or Leasing/Rental
Repair of any goods, equipment or vehicles, the manufacture, assembly, or sales of which are permitted in that zoning district
Shopping Center / Superstore, over 100,000 sq. ft.
Contractors Offices/Shop with outdoor storage area
Landfills, C&D or LCID (any size)
Manufacturing (other than pottery or sign)
Paper and Printing Materials manufacturing
Warehouse structures, generally
Aquarium or Planetarium
Amphitheater
Amusement or Theme Park Establishment
Drive-in Theaters
Entertainment Establishments (lounges, discos, nightclubs, pool halls, and/or private clubs)
Golf driving ranges
Outdoor stage, bandstand, or similar structure
Sports stadiums or arenas
Zoos
Cemeteries, public and private
Crematorium & Embalming
Hospitals
Religious Complex
Bus passenger stations / terminals / shelters
Public utility storage and service yards
Sewage treatment and water treatment plants
Solar Collectors
Taxi and Limousine Service
Telecommunication Towers
Crop Production and Support Functions

THE FOLLOWING USES SHALL BE ALLOWED IN THE C-2 ZONING DESIGNATION:

Convenience stores, with gas sales, attached restaurant and drive-thru
Shopping Center / Superstore, 25,000 – 100,000 sq ft are permitted by right, subject to the rezoning conditions of this plan in lieu of article 10.2.

UDO REVISIONS APPLICABLE TO C2 VILLAGE PORTION OF REZONING AMENDMENT

5.17 HOTELS, MOTELS AND TOURIST COURTS (AMENDED)
 5.17.1 APPLICABILITY Any building containing six or more guest rooms intended or designed to be used, or which are used, rented or hired out to be occupied or which are occupied for sleeping purposes by guests. (Source: North Carolina State Building Code, Vol. 1, § 201.3)
 5.17.2 STANDARDS When allowed, all hotels and motels, except hotels or motels in the CBD District, shall be subject to the following additional requirements:
 5.17.2.1 ~~Not applicable. The lot or parcel shall have direct access to a major or minor thoroughfare.~~
 5.17.2.2 Where the property line of the hotel or motel is adjacent to property in a Residential Zoning District or a residential use, all hotel and motel buildings and parking shall be located at least 50 feet within the property line of the hotel or motel.
 5.17.2.3 Any accessory commercial activities such as restaurants and any outdoor recreational activities such as swimming pools shall be located at least 100 feet within the property line of the hotel or motel. ~~not be located along the side of the property adjacent to a Residential Zoning District or use.~~

5.3 ANIMAL HOSPITALS, VETERINARY SERVICES, ANIMAL SHELTERS, KENNELS / ANIMAL SERVICES
 5.3.1 APPLICABILITY
 This section applies to Veterinarian Outpatient Clinics. Commercial boarding or storage of live animals beyond the time in which medical treatment is provided is prohibited.
~~This section applies to any facility providing services for animals on the premises and applies to any use that includes the commercial boarding or storage of live animals, including but not limited to veterinarian hospitals, kennels, and shelters and are subject to the criteria below:~~
 5.3.2 STANDARDS
 5.3.2.1 ~~All buildings, structures and facilities shall be located at least 500 feet from any Residential structure.~~
 5.3.2.2 ~~Animal wastes shall not be stored closer than fifty (50) feet from any property line or surface waters. All animal wastes shall be removed daily.~~
 5.3.2.3 ~~Areas used for grazing, exercising or training of said animals shall be securely fenced to prevent the animals from straying, or a suitable restraint shall be provided to prevent straying.~~
 5.3.2.4 ~~Any kennel which is not wholly enclosed within a building shall be enclosed by a security fence at least six (6) feet in height.~~
 5.3.3 VETERINARIAN OUTPATIENT CLINICS
 5.3.3.1 ~~In lieu of § 5.3.2, the requirements of subsections (a) through (d), below, shall apply to veterinarian outpatient clinics. For purposes of this section, a "veterinarian outpatient clinic" means a structure where small animals or pets are given medical or surgical treatment and are cared for during the time of such treatment only.~~
 (a) A veterinarian outpatient clinic must be within a completely enclosed building, with no outside facilities or accessory structures for animals.
 (b) A veterinarian outpatient clinic shall provide no grooming or boarding of animals except as required for medical treatment.
 (c) A veterinarian outpatient clinic shall be designed, constructed and maintained to minimize sound emitted through exterior walls and roofs, including areas where animals are treated or kept during treatment.

UDO SECTION 7.5 – TABLE 7-4 BUFFER YARD LANDSCAPE REQUIREMENTS

REVISE 'MINIMUM REQUIRED POINTS PER LINEAR FOOT' AS FOLLOWS:
 BUFFER YARD TYPE A: INCREASE FROM 0.2 TO 0.3
 BUFFER YARD TYPE B: INCREASE FROM 0.7 TO 0.9
 BUFFER YARD TYPE C: INCREASE FROM 1.0 TO 1.2

SECTION 7.7.3.1 – STREET YARDS DESIGN REQUIREMENT

REVISE TO STATE:
 ...ONE LARGE (1) TREE OR TWO (2) SMALL TREE FOR EVERY FORTY LINEAR FEET ...

SECTION 10.1.4.1 – SOLID WASTE STORAGE AREA / DUMPSTERS

REVISE TO REMOVE FENCING AND LANDSCAPING AS ALLOWABLE SCREENING MATERIAL
 REVISE TO ADD SOLID CONCRETE OR BLOCK WALL MATCHING BUILDING COLOR AND MATERIAL AS ALLOWABLE SCREENING MATERIAL

UDO SECTION 10.7

THIS SECTION IS NOT APPLICABLE BASED ON SECTION 10.7.2.3 EXEMPTIONS, BULLET FOUR.

ADDITIONAL STANDARDS TO C2 VILLAGE PORTION OF REZONING AMENDMENT

PEDESTRIAN CONNECTIVITY
 ALL NEW ROADS, PUBLIC AND PRIVATE, SHALL BE PROVIDED WITH SIDEWALKS. IN ADDITION, ALL PARCELS SHALL PROVIDE SIDEWALK CONNECTIONS TO ROADWAY SIDEWALKS FOR PEDESTRIAN CONNECTIVITY THROUGHOUT THE DEVELOPMENT.

OUTDOOR SPACE
 ONE OUTDOOR SPACE OR SITE AMENITY SHALL BE PROVIDED ON LOT 3, 4 OR 5. THE OUTDOOR SPACE OR SITE AMENITY IS INTENDED TO ENHANCE THE VEHICULAR AND PEDESTRIAN ENTRYWAYS WITHIN THE SITE. AN OUTDOOR SPACE OR SITE AMENITY MAY INCLUDE A PUBLIC PLAZA OR COURTYARD. THE PUBLIC PLAZA OR COURTYARD MAY INCLUDE ADDITIONAL LANDSCAPING, SEATING WALLS OR BENCHES.

BUILDING MATERIALS
 BUILDINGS SHALL INCORPORATE EITHER BRICK OR EARTH TONED NATURAL STONE VENEERS. AT A MINIMUM, MASONRY SHALL BE UTILIZED AS A BUILDING BASE OR ACCENT AT PRIMARY FRONTAGES AND / OR BUILDING ENTRIES. IF UTILIZING BRICK, THE BRICK SHALL PROVIDE A REASONABLE MATCH TO THE STANDARD SET BY THE DEVELOPMENT TEAM. MATERIALS OTHER THAN MASONRY SHALL BE HIGH QUALITY AND IN ACCORDANCE WITH BASE ZONING. UTILIZATION OF THE MATERIAL STANDARDS SET BY THE DEVELOPMENT TEAM IS STRONGLY ENCOURAGED IN ORDER TO PROMOTE A CONSISTENT ATTRACTIVE APPEARANCE TO THE DEVELOPMENT AS A WHOLE.

GLAZING
 PRIMARY BUILDING FRONTAGES SHALL BE DESIGNED WITH A MINIMUM FENESTRATION AREA EQUAL TO 25% OF THE WALL AREA. ALL WALLS VISIBLE FROM ROADWAYS OR PARKING FIELDS SHALL BE DESIGNED WITH A MINIMUM FENESTRATION AREA EQUAL TO 10% OF THE WALL AREA OR SHALL INCORPORATE ARCHITECTURAL ELEMENTS TO PROVIDE RELIEF TO OTHERWISE BLANK FACADES.

BUILDING MOUNTED LIGHTING
 BUILDINGS SHALL INCORPORATE ATTRACTIVE EXTERIOR LIGHTING TO DENOTE ENTRANCES, TO HIGHLIGHT ARCHITECTURAL DETAIL, AND TO ILLUMINATE ADJACENT PEDESTRIAN PATHWAYS. EXTERIOR BUILDING MOUNTED LIGHTING ON PRIMARY FRONTAGES SHALL BE SHIELDED DOWNLIGHTING ONLY. UPLIGHTING SHALL NOT BE ALLOWED. STANDARD "WALL PACK" TYPE FIXTURES SHALL ONLY BE UTILIZED AT BACK OF HOUSE AREAS NOT VISIBLE FROM SURROUNDING ROADWAYS.

O&I REZONING AMENDMENT CONDITIONS

ALL USES ALLOWED IN UDO SECTION 4.6 SHALL BE ALLOWED WITHIN THE O&I ZONING DESIGNATION WITH THE FOLLOWING EXCEPTIONS:

Dwelling, modular home
Dwelling, Multifamily (three or more units)
Dwelling, Single-family attached or detached
Home Occupation
Bed and breakfast inn
Dormitories for the students of colleges, commercial schools, staff of hospitals
Group Home / Residential Care Facility, Level I, II, III or IV
Repair of any goods, equipment or vehicles, the manufacture, assembly, or sales of which are permitted in that zoning district
Landfills, C&D or LCID
Aquarium or Planetarium
Amphitheater
Golf courses, public and private
Golf driving ranges
Sports stadiums or arenas
Cemeteries, public and private
Crematorium & Embalming
Hospitals
Religious Complex
Sewage treatment and water treatment plants
Solar Collectors
Telecommunication Towers
Crop Production and Support Functions

THE FOLLOWING USES SHALL BE ALLOWED IN THE O&I ZONING DESIGNATION:

Bicycle (non-motorized) Sales and/or Repair
Books, Magazines, music, etc.
Camera and Photographic Supplies
Car Washes and Car Care Centers
Computer and Software Sales
Dry cleaning and laundry
Nurseries and greenhouses, commercial
Pharmacy or Drugstore, with drive-thru facility
Performance Theaters or auditorium (indoor)

UDO REVISIONS APPLICABLE TO O&I PORTION OF REZONING AMENDMENT

UDO SECTION 7.5 – TABLE 7-4 BUFFER YARD LANDSCAPE REQUIREMENTS

REVISE "MINIMUM REQUIRED POINTS PER LINEAR FOOT" AS FOLLOWS:
 BUFFER YARD TYPE A: INCREASE FROM 0.2 TO 0.3
 BUFFER YARD TYPE B: INCREASE FROM 0.7 TO 0.9
 BUFFER YARD TYPE C: INCREASE FROM 1.0 TO 1.2

SECTION 7.7.3.1 – STREET YARDS DESIGN REQUIREMENT

REVISE TO STATE:
 ...ONE LARGE (1) TREE OR TWO (2) SMALL TREE FOR EVERY FORTY LINEAR FEET ...

SECTION 10.1.4.1 – SOLID WASTE STORAGE AREA / DUMPSTERS

REVISE TO REMOVE FENCING AND LANDSCAPING AS ALLOWABLE SCREENING MATERIAL
 REVISE TO ADD SOLID CONCRETE OR BLOCK WALL MATCHING BUILDING COLOR AND MATERIAL AS ALLOWABLE SCREENING MATERIAL

ADDITIONAL STANDARDS TO O&I PORTION OF REZONING AMENDMENT

PEDESTRIAN CONNECTIVITY

ALL NEW ROADS, PUBLIC AND PRIVATE, SHALL BE PROVIDED WITH SIDEWALKS. IN ADDITION, ALL PARCELS SHALL PROVIDE SIDEWALK CONNECTIONS TO ROADWAY SIDEWALKS FOR PEDESTRIAN CONNECTIVITY THROUGHOUT THE DEVELOPMENT.

SCALE AND MASSING

- STRUCTURES SHALL CONFORM TO THE FOLLOWING TO ENCOURAGE AN APPROPRIATE LEVEL OF SCALE AND MASSING:
- LONG WALLS (IN EXCESS OF 50' LENGTH) VISIBLE FROM SURROUNDING ROADWAYS OR PARKING FIELDS SHALL BE ARTICULATED WITH BOTH CHANGES IN MATERIAL AND CHANGES IN PLANE, PROJECTING BAYS, REGULARLY SPACED PIERS, OR OTHER ARCHITECTURAL FEATURE TO BREAK UP THE APPEARANCE OF THE BUILDING.
 - BUILDINGS SHALL BE DESIGNED TO CLEARLY ARTICULATE A BASE, MIDDLE, AND TOP TO PROVIDE A SENSE OF SCALE THROUGH MATERIAL CHANGE OR ARCHITECTURAL DETAIL SUCH AS WATER TABLES, BANDING, COPINGS AND CORNICES.
 - BUILDING ENTRIES SHALL BE ARTICULATED BY A CHANGE IN ROOF LINE MINIMUM OF 2' VERTICAL DIMENSION.

BUILDING MATERIALS

BUILDINGS SHALL INCORPORATE EITHER BRICK OR EARTH TONED NATURAL STONE VENEERS. AT A MINIMUM, MASONRY SHALL BE UTILIZED AS A BUILDING BASE OR ACCENT AT PRIMARY FRONTAGES AND / OR BUILDING ENTRIES. IF UTILIZING BRICK, THE BRICK SHALL PROVIDE A REASONABLE MATCH TO THE STANDARD SET BY THE DEVELOPMENT TEAM. MATERIALS OTHER THAN MASONRY SHALL BE HIGH QUALITY AND IN ACCORDANCE WITH BASE ZONING. UTILIZATION OF THE MATERIAL STANDARDS SET BY THE DEVELOPMENT TEAM IS STRONGLY ENCOURAGED IN ORDER TO PROMOTE A CONSISTENT ATTRACTIVE APPEARANCE TO THE DEVELOPMENT AS A WHOLE.

EXTERIOR BUILDING COLORS

FAÇADE COLORS SHALL CONSIST OF LOW REFLECTANCE, SUBTLE, NEUTRAL OR EARTH TONE COLORS. BRIGHT COLORS SHALL BE LIMITED TO USE AS ACCENT ELEMENTS, SUCH AS DOOR AND WINDOW FRAMES AND ARCHITECTURAL DETAILS. USE OF NEON TUBING AND/OR FLUORESCENT COLORS IS PROHIBITED.

ENTRYWAY

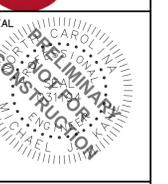
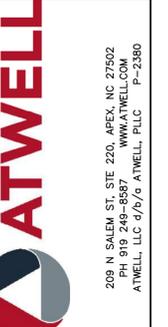
IF AN ENTRANCE TO A PRINCIPAL BUILDING IS VISIBLE FROM A CORRIDOR STREET, SUCH ENTRANCES SHALL FEATURE AT LEAST ONE OF THE FOLLOWING DESIGN ELEMENTS: CANOPIES OR PORTICOES, ARCADES, ARCHES, OR WING WALLS.

MECHANICAL EQUIPMENT

TO THE GREATEST EXTENT POSSIBLE, MECHANICAL APPURTENANCES AND EQUIPMENT SHOULD BE LOCATED WITHIN THE STRUCTURE. EXTERNAL MECHANICAL APPURTENANCES, SUCH AS HEATING AND AIR CONDITIONING EQUIPMENT, SHALL BE SCREENED FROM VIEW FROM THE ADJOINING THOROUGHFARE OR FREEWAY. SCREENING MATERIALS SHALL BE FINISHED TO MATCH THE COLORS OF THE ADJACENT BUILDING EXTERIOR.



ASHBY VILLAGE COMMERCIAL AND OFFICE PARK
CONDITIONAL REZONING AMENDMENT
 SANFORD, NC
 CONDITIONAL REZONING AMENDMENT
O&I ZONING CONDITIONS



DATE
OCTOBER 14, 2025

ISSUED FOR
TRC REVIEW

SHEET NO.

C8

AERIAL VIEW



ASHBY VILLAGE

Sanford, NC
1 | 10 October 2025



2054 KILDARE FARM RD, #167 CARY, NC 27518
www.dciinsightllc.com

ASHBY VILLAGE COMMERCIAL AND OFFICE PARK
CONDITIONAL REZONING AMENDMENT

SANFORD, NC
CONDITIONAL REZONING AMENDMENT

ARCHITECTURAL RENDERINGS

RENDERING 1



ASHBY VILLAGE

Sanford, NC
2 | 10 October 2025



ATWELL



209 N SALEM ST, STE 220, APEX, NC 27502
PH 919 249-8587 WWW.ATWELL.COM
ATWELL, LLC 0/0/0 ATWELL, PLLC P-2380

SEAL

DATE
OCTOBER 14, 2025

ISSUED FOR
TRC REVIEW

SHEET NO.

C9

RENDERING 2



Colliers Engineering & Design

ASHBY VILLAGE

Sanford, NC
3 | 10 October 2025

Colliers Engineering & Design

DCI
Development &
Construction Insight, LLC
2054 KILDARE FARM RD, #167 CARY, NC 27518
www.dciinsightllc.com

ASHBY VILLAGE COMMERCIAL AND OFFICE PARK
CONDITIONAL REZONING AMENDMENT
SANFORD, NC
CONDITIONAL REZONING AMENDMENT
ARCHITECTURAL RENDERINGS

ATWELL
209 N SALEM ST, STE 220, APEX, NC 27502
PH 919 249-8587 WWW.ATWELL.COM
ATWELL, LLC 6/16/25 ATWELL, PLLC P-2380

SEAL
DATE
OCTOBER 14, 2025
ISSUED FOR
TRC REVIEW
SHEET NO.

C10

ELEVATION



EIFS SHIP LAP BRICK - WHITE WASHED ARCHITECTURAL BLOCK MEDIUM GRAY BRICK - BURNT UMBER



ASHBY VILLAGE

Sanford, NC
4 | 10 October 2025

Colliers Engineering & Design

CITY OF SANFORD
CITY COUNCIL AND PLANNING BOARD
PUBLIC HEARING INFORMATION
January 20, 2026

SUMMARY

The Ashby Village Conditional Zoning District was approved in 2021. All of the subject property was illustrated on the Conceptual Development Plan and the areas indicated as Commercial (C-2) and Office & Institutional (O&I) would allow non-residential land uses with the minimum lot sizes and densities as permitted by the UDO. A detailed site plan/subdivision plan that corresponds with the uses, conditions, design standards, and maximum densities denoted on the Conceptual Development Plan was required to be approved by the Sanford City Council by amending the conditional zoning district prior to the issuance of development permits. At this time, Atwell, PLLC has provided a more detailed site plan/subdivision plan and updated conditions regarding allowed land uses and architectural standards for your consideration. If approved this portion of Ashby Village would be allowed to move forward with development.

Our adopted land use plan designates this parcel as Mixed Use Activity Center, which is intended to facilitate development of large-scale integrated mix of uses with development that is typically a single master-planned unit that is contextually integrated into surrounding development pattern with strong mobility linkages and within close proximity to highway interchanges and major arterials. The overall Ashby Village aligns with this description. Ultimately, it is up to the City Council to determine if they are comfortable allowing this shopping center to have its own unique signage and landscaping standards. Additional information presented at the public hearing should also be considered in the recommendation and the final decision regarding the requested zoning map amendment.

REQUEST

Atwell, PLLC is requesting to amend the existing Ashby Village Conditional Zoning District to provide more detail to the Office & Institutional (O&I) and the General Commercial (C-2) portions of the Ashby Village project that was approved via the site plan/subdivision plan conditional zoning process in 2021. The subject property is comprised of four parcels of land totaling 36.9 acres +/- with frontage on Rosser Road and S. Horner Blvd/Ashby Road.

This is a site plan/subdivision plan specific conditional rezoning request; therefore, the development plans and proposed conditions are required as part of the rezoning request.

Public notification consisted of publishing a legal notice in the local newspaper, notification by mail to adjacent property owners, and public hearing signs placed on the property as per the requirements of the North Carolina General Statutes.

GENERAL INFORMATION

Applicant: Atwell, PLLC | Contact person: Michael J. Kane
Property Owner: Centerpoint Investments, LLC | Anil M. Chandarana, Registered Agent & Managing Member
Request: Amend the existing Ashby Village Conditional Zoning District
Location: Frontage on Rosser Road and S. Horner Blvd.

Staff Report - Conditional Rezoning Request to amend the Ashby Village CZD

Acreage: 36.9 acres +/-
Tax Parcel: 9652-90-4777-00 (O&I), 9652-90-5359-00 (O&I), 9661-09-2400-00 (C-2), and 9661-08-9921-00 (C-2)
Tax Maps: Maps 9652.20, 9662.03, 9651.08, and 9661.01.
Township: Jonesboro
Council Ward: 3
Fire District: City Station #2) at 2220 Woodland Avenue
Schools: Broadway Elementary | East Lee Middle School | Lee Senior High School

SITE DESCRIPTION

The subject property is located in southwestern Sanford, near the Rosser Road and S. Horner Blvd intersection. Lots 1 & 2, the two parcels denoted for Office & Institutional uses, have frontage on Rosser Road, between a house at 2709 Rosser Road and Lowe’s Home Improvement at 3015 S. Horner Blvd. In the past, these two lots were part of one larger parcel that was developed with a house addressed as 2813 Rosser Road and several accessory buildings. Lots 3 & 4, the two parcels denoted for General Commercial uses, have frontage on S. Horner Blvd between Lowe’s Home Improvement at 3015 S. Horner Blvd and Pine Village Mobile Home Park off of Ashby Road. Lot 3 was formerly developed with two houses addressed as 3103 and 3105 S. Horner Blvd. Lot 4 is still currently developed with a house addressed as 3109 S. Horner Blvd and a church addressed as 115 Ashby Road. Several accessory buildings were also on this lot and have been demolished. The plans submitted with the application state that all buildings, structures, and associated utilities have been demolished and removed. All existing wells and septic systems to be abandoned per the Lee County Environmental Health Department requirements.

ZONING DISTRICT INFORMATION

Existing Zoning: Ashby Village Conditional Zoning District was approved in 2021 (Ordinance 2021-92). All of the subject property was illustrated on the Conceptual Development Plan and the areas indicated as Commercial (C-2) and Office & Institutional (O&I) would allow non-residential land uses with the minimum lot sizes and densities as permitted by the UDO. A detailed site plan/subdivision plan that corresponds with the uses, conditions, design standards, and maximum densities denoted on the Conceptual Development Plan (see image below) was required to be approved by the Sanford City Council by amending the conditional zoning district prior to the issuance of development permits.

(see image on next page)

Ashby Village Conditional Zoning District Conceptual Development Plan - Approved in 2021



ASHBY VILLAGE:		
	TOTAL AREA	153.0 +/- AC
1	COMMERCIAL (C-2 VILLAGE CONCEPT)	27.9 +/- AC
2	O&I	6.5 +/- AC

Specific Information for Office & Institutional District (O&I): 9652-90-4777-00 and 9652-90-5359-00

The Office & Institutional District (O&I) is established to provide for agencies and offices rendering specialized services and traditional institutional functions (both public and private) including, but not limited to, governmental facilities, cultural and recreational facilities, educational facilities and charitable institutions.

Minimum lot size:	N/A
Minimum lot width:	50ft
Minimum lot depth:	100ft
Minimum building setback, front:	10ft, measured from the r/o/w of the public street
Minimum building setback, rear:	Determined by the required landscape buffer yard width
Minimum building setback, side(s):	Determined by the required landscape buffer yard width
Maximum building height:	60ft
Maximum impervious surface:	70%, not taking into consideration watershed regulations

Examples of uses permitted by right within the O&I zoning district include finance & insurance services, medical & dental clinics, office buildings, personal services (nail salons, barbers, etc.), professional services (legal, accounting, etc.), real estate sales/rental/leasing, religious complexes/churches, restaurants with no drive-in or drive-through facilities, and schools. There is a list of all of the permitted uses for this zoning district, including the uses subject to supplemental development standards and/or requiring the issuance of a Special Use Permit, within the agenda packet for your reference.

Specific Information for General Commercial (C-2): 9661-09-2400-00 and 9661-08-9921-00

The General Commercial (C-2) zoning district is established to provide areas for general commercial activities designed to serve the community such as shopping centers, repair shops wholesale businesses, and retail sales with limited outdoor display of goods and limited outdoor operations. This district promotes a broad range of commercial operations and services necessary for large regions of the County, providing community balance. C-2 zones should be located on or within proximity to major thoroughfares.

Minimum lot size:	N/A
Minimum lot width:	50ft
Minimum lot depth:	100ft
Minimum building setback, front:	10ft, measured from the r/o/w of the public street
Minimum building setback, rear:	Determined by the required landscape buffer yard width
Minimum building setback, side(s):	Determined by the required landscape buffer yard width
Maximum building height:	N/A
Maximum impervious surface:	80%, not taking into consideration watershed regulations

Examples of uses permitted by right within the C-2 zoning district include administrative services, antique shops, appliance sales/repair/maintenance, bakeries, computer & software sales, convenience stores with & without gas sales, dry cleaning & laundry, farm/landscape/garden supply with or without outdoor storage, grocery stores & supermarkets (all sizes), hardware/home centers/lumber yard/ heating & plumbing with indoor & outdoor storage, motor vehicle sales & service, office buildings, professional services (legal, accounting, architectural, etc.), real estate sales/rental/leasing, restaurants with drive-in or drive-through facilities, upholstery & furniture refinishing, and wholesale. There is a list of all

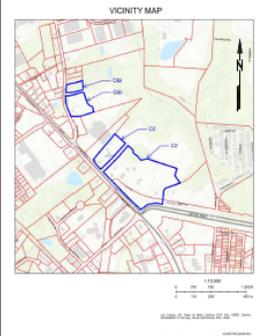
permitted uses for this zoning district, including the uses subject to supplemental development standards and/or requiring the issuance of a Special Use Permit, within the agenda packet for your reference.

Proposed Amendment to the Ashby Village Conditional Zoning District:

The amendment is intended to provide more detail to the O&I and the C-2 portions of the Ashby Village Conditional Zoning District approved in 2021. If this amendment is approved, it will allow these portions of Ashby Village to move forward with actual development. Reference the plans labeled “Conditional Rezoning Amendment to Ord-2021-92-CZ Ashby Village Commercial and Office Park” submitted with the rezoning application.

Sheet C1: Cover Sheet

This sheet provides a vicinity map for the subject property and the overall lot layout for the O&I and C-2 areas of Ashby Village associated with this amendment.

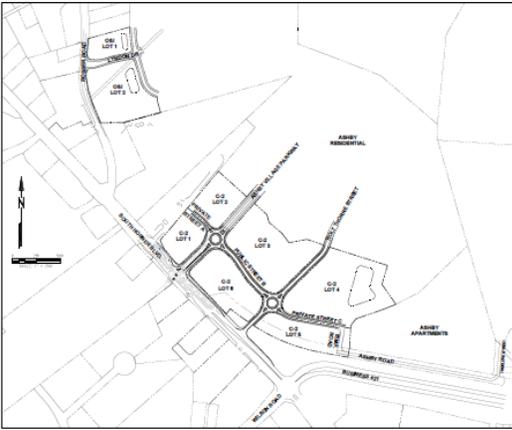


PROPERTY OWNER
 1. J. J. BROWN, JR. & SONS, LLC
 2. J. J. BROWN, JR.
 3. J. J. BROWN, JR. & SONS, LLC
 4. J. J. BROWN, JR. & SONS, LLC

ENGINEER
 1. J. J. BROWN, JR. & SONS, LLC
 2. J. J. BROWN, JR.
 3. J. J. BROWN, JR. & SONS, LLC
 4. J. J. BROWN, JR. & SONS, LLC

PROJECT MANAGER
 1. J. J. BROWN, JR. & SONS, LLC
 2. J. J. BROWN, JR.
 3. J. J. BROWN, JR. & SONS, LLC
 4. J. J. BROWN, JR. & SONS, LLC

CONDITIONAL REZONING AMENDMENT TO ORD-2021-92-CZ ASHBY VILLAGE COMMERCIAL AND OFFICE PARK SANFORD, NORTH CAROLINA



APPROVED
 TRC CONCEPT PLAN
 APPROVED 11/06/22

CONDITIONAL REZONING AMENDMENT NOTES

1. THE CITY OF SANFORD HAS REVIEWED THE PROPOSED REZONING AMENDMENT AND HAS DETERMINED THAT THE PROPOSED REZONING AMENDMENT IS IN THE BEST INTERESTS OF THE CITY OF SANFORD.
2. THE CITY OF SANFORD HAS REVIEWED THE PROPOSED REZONING AMENDMENT AND HAS DETERMINED THAT THE PROPOSED REZONING AMENDMENT IS IN THE BEST INTERESTS OF THE CITY OF SANFORD.
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5. THE CITY OF SANFORD HAS REVIEWED THE PROPOSED REZONING AMENDMENT AND HAS DETERMINED THAT THE PROPOSED REZONING AMENDMENT IS IN THE BEST INTERESTS OF THE CITY OF SANFORD.

ASHBY ROAD CLOSURE SEQUENCE

1. THE CITY OF SANFORD HAS REVIEWED THE PROPOSED REZONING AMENDMENT AND HAS DETERMINED THAT THE PROPOSED REZONING AMENDMENT IS IN THE BEST INTERESTS OF THE CITY OF SANFORD.
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SHEET INDEX

- 01 SITE PLAN
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ODCI
 OFFICIAL DEVELOPMENT CONTROL INQUIRY

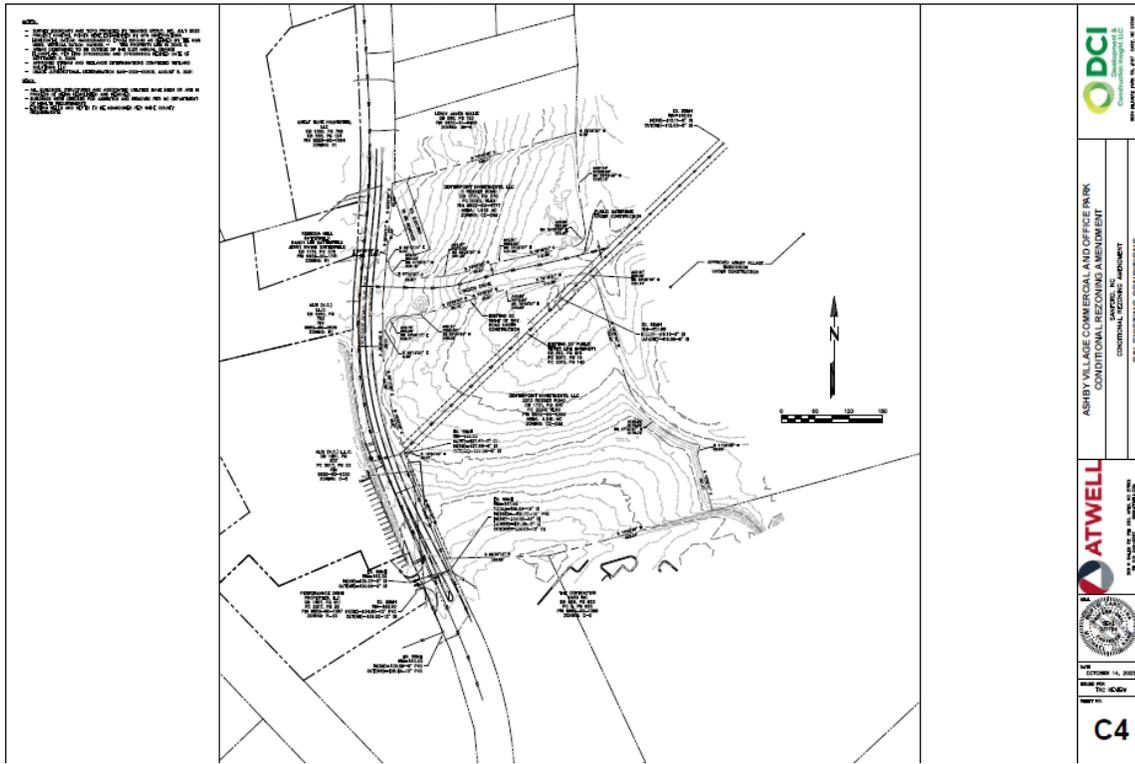
ATWELL
 ENGINEERS & ARCHITECTS

COVER SHEET

C1

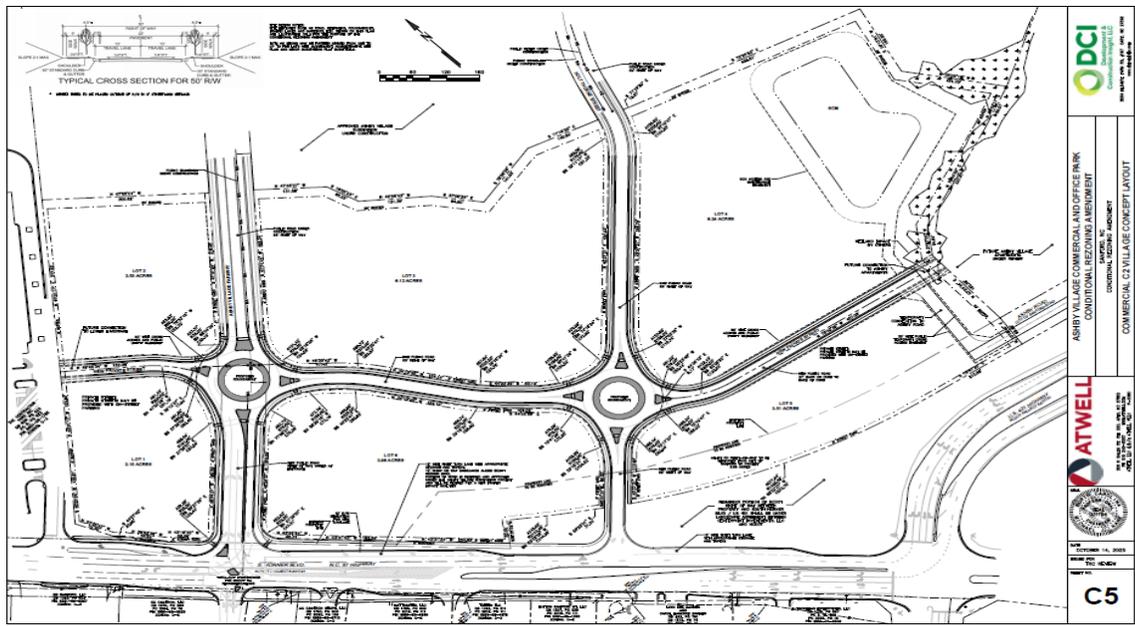
Sheet C4: O&I Existing Conditions

This sheet illustrates the existing site conditions, such as topography, utilities, and environmental features for the area of Ashby Village designated as O&I.



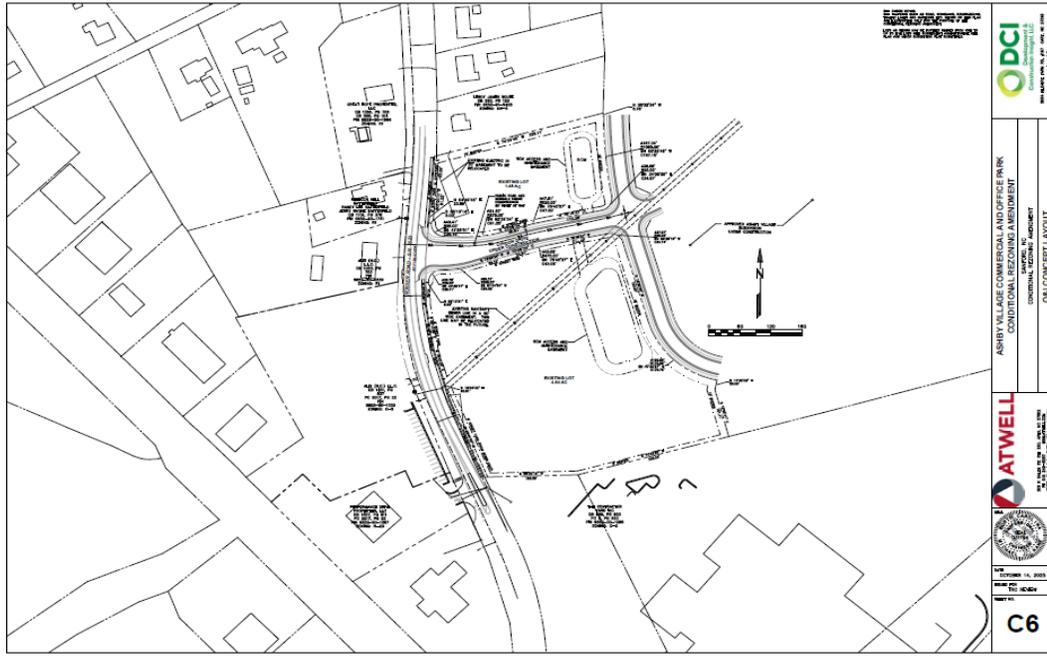
Sheet C5: C-2 Concept Layout

This sheet illustrates the general overall layout of the individual lots and road network for the area of Ashby Village designated as C-2. Lots as shown may be further divided from one up to five lots with subsequent administrative site plan and minor subdivision submittals. A connection from S. Horner Blvd to Ashby Road and Truelove Street will be maintained at all times.



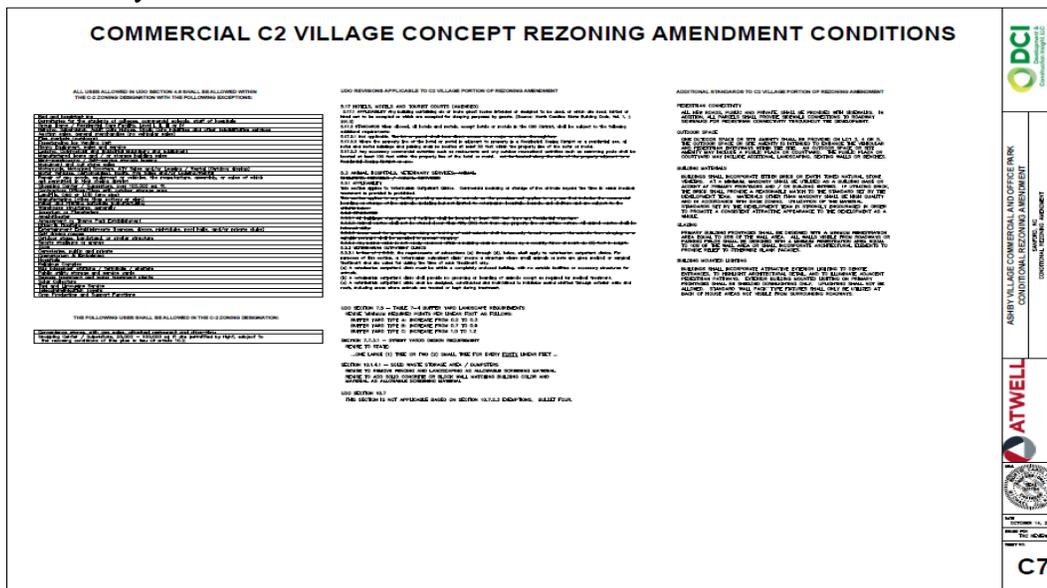
Sheet C6: O&I Concept Plan

This sheet illustrates the general overall layout of the individual lots and road network for the area of Ashby Village designated as O&I. Lots as shown may be further divided from one up to five lots with subsequent administrative site plan and minor subdivision submittals.



Sheet C7: C-2 Zoning Conditions

This sheet provides information regarding the specific development standards for the C-2 designated areas and uses allowed within the C-2 designated areas of Ashby Village. It is noted that this project is exempt from compliance with UDO Section 10.7 Design Standards for Commercial Development Along Thoroughfares & Freeways with the rationale being that this falls within the exemption category of “building lots created as part of an office/business park or an industrial park if such lots do not take vehicular access directly from a thoroughfare or freeway. Such lots shall be exempt only if access is via a secondary street”.



Pedestrian Connectivity:

- All new roads, public & private, shall have sidewalks.
- In addition, all parcels shall provide sidewalk connections to roadway sidewalks for pedestrian connectivity throughout the development.

Outdoor Space:

- One outdoor space or site amenity shall be provided on lot 3, 4, or 5. The outdoor space or site amenity is intended to enhance the vehicular and pedestrian entryways within the site. An outdoor space or site amenity may include a public plaza or courtyard. The public plaza or courtyard may include additional landscaping, seating walls or benches.

Building Materials:

- Buildings shall incorporate either brick or earth toned natural stone veneers. At a minimum, masonry shall be utilized as a building base or accent at primary frontages and/or building entries. If utilizing brick, the brick shall provide a reasonable match to the standard set by the development team. Materials other than masonry shall be high quality and in accordance to base zoning. Utilization of material standards set by the development team is strongly encouraged in order to promote a consistent attractive appearance to the development as a whole.

Glazing:

- Primary building frontages shall be designed with a minimum fenestration equal to 25% of the wall area. All walls visible from roadways or parking fields/areas shall be designed with a minimum fenestration area equal to 10% of the wall area or shall incorporate architectural elements to provide relief to otherwise blank facades.

Note: Fenestration is the arrangement, proportioning, and design of windows & doors in a building.

Building Mounted Lighting:

- Buildings shall incorporate attractive exterior lighting to denote entrances, to highlight architectural detail, and to illuminate adjacent pedestrian pathways. Exterior building mounted lighting on primary frontages shall be shielded downlighting only. Uplighting shall not be allowed. Standard “wall pack” type fixtures shall only be utilized at back of house areas not visible from surrounding roadways.

Landscaping:

- The required buffer yard landscaping shall be more than the UDO development standards. Specifically, buffer yard landscaping shall comply with UDO Section 7.5, Buffer Yards and Table 7-4 Buffer Yard Landscaping Requirements with the exception that the minimum required points per linear foot is revised as follows: Type A (8ft wide) buffer yard shall increase from 0.2 points to 0.3 points; Type B (15ft wide) buffer yard shall increase from 0.7 points to 0.9 points; and a Type C (20ft wide) buffer yard shall increase from 0.1 to 1.2.
- The required street yard landscaping shall be more than the UDO development standards. Specifically, street yard landscaping shall comply with UDO Section 7.7 Street Yards with the exception that one large tree or two small trees shall be required for every 40 linear feet of road frontage, as opposed to every 50ft of road frontage.

Screening:

- Outdoor storage and solid waste screening shall comply with UDO Section 10.1 Outdoor Storage and Solid Waste Screening Standards with the exception that fencing & landscaping are not to be allowed as screening material and solid concrete block or block wall matching the building color & material are allowable as screening materials.

Uses:

All of the uses allowed per the UDO in the C-2 zoning district shall be allowed in the areas of Ashby Village designated as C-2 with the following exceptions:

- NOT ALLOWED -

- Bed & breakfast inns
- Dormitories for students
- Group homes / residential care facilities; levels 1, 2, 3, or 4
- Nursing, supervision, adult care homes, Group care facilities, and other rehabilitative services
- Auction sales, general merchandise; no vehicular sales
- Flea markets; outdoors
- Freestanding ice vending units
- Heavy equipment sales & service
- Leasing of commercial & industrial machinery and equipment
- Manufactured home and/or storage building sales
- Mini-warehousing / self-storage leasing
- Monument and cut stone sales
- Motorcycle, motorized scooters, ATV sales and/or leasing/rental (outdoor display)
- Motor vehicles (automobiles), boats, RVs sales and/or leasing/rental
- Repair of any goods, equipment or vehicles the manufacture, assembly, or sales of which are permitted in the O&I zoning district
- Shopping center / superstore over 100,000sf
- Contractor's office/shop with outdoor storage area
- Landfills; C&D/construction & demolition or LCID/land clearing & inert debris; any size
- Manufacturing, other than pottery or signs
- Paper and printing materials manufacturing
- Warehouse structure; generally
- Aquarium or planetarium
- Amphitheater
- Amusement or theme park establishment
- Drive-in theater
- Entertainment establishments (lounges, discos, nightclubs, pool halls, and/or private clubs)
- Golf driving ranges
- Outdoor stage, bandstand, or similar structure
- Sports stadiums or arenas
- Zoos
- Cemeteries, public & private, and Crematoriums & embalming
- Hospitals
- Religious complex
- Bus passenger stations/terminals/shelters
- Public utility storage and/or service yards
- Sewage treatment and water treatment plants

- Solar collectors
- Taxi and limousine service
- Telecommunications towers
- Crop production and support functions

The follow uses that are not allowed per UDO in the C-2 zoning district shall be allowed in the areas of Ashby Village designated as C-2

- ALLOWED IN ADDITION TO THE UDO PERMITTED C-2 USES-

- Convenience stores with gas sales, attached restaurant, and drive-through
- Shopping center / superstore; 25,000sf – 100,000sf, subject to the rezoning conditions of the information & plans submitted with this rezoning amendment in lieu of compliance with UDO Article 10.2 Shopping Centers and Superstores.

The following development standards are for specific uses and replace or modify the UDO standards for these uses in the areas of Ashby Village designated as C-2.

-REPLACE OR MODIFY THE UDO STANDARDS FOR SPECIFIC USES-

- Hotels, Motels, and Tourist Courts: The lot or parcel developed with a hotel, motel, or tourist court shall not be required to have direct frontage on a major or minor thoroughfare. Also, any accessory commercial activities (restaurants, etc.) and any outdoor recreational facilities (swimming pools, etc.) may be located along the side of the property adjacent to a residential zoning district or use.
- Animal Hospitals / Veterinary Services: This section applies to Veterinarian Outpatient Clinics, which is a structure where small animals or pets are given medical or surgical treatment and are cared for during the time of such treatment only. Commercial boarding or storage of live animals beyond the time in which medical treatment is provided is prohibited. This must be within a completely enclosed facility with no outside facilities or accessory structures for animals. No grooming or boarding of animals except as required for medical treatment. The building for this use shall be designed, constructed, and maintained to minimize sound emitted through exterior walls and roofs, including where animals are treated or kept during treatment.

Note: Animal Shelters, Kennels, and Animal Services as referenced in UDO Section 5.3 are not allowed. Also, the language under “standards” of UDO Section 5.3 is not applicable. Reference Sheet C7 for the specific UDO language that has been stricken from applicability.

Exterior Building Colors:

- Façade colors shall consist of low reflectance, subtle, neutral or earth tone colors. Bright colors shall be limited to use as accent elements, such as door & window frames and architectural details. Use of neon tubing and/or fluorescent colors is prohibited.

Entryway:

- If an entrance to a principal building is visible from a corridor street, such entrances shall feature at least one of the following design elements: canopies, porticoes, arcades, arches, or wing walls.

Mechanical Equipment:

- To the greatest extent possible, mechanical appurtenances and equipment should be located within the structure. External mechanical equipment appurtenances, such as heating & air conditioning equipment, shall be screened from view from the adjoining thoroughfare or freeway. Screening materials shall be finished to match the colors of the adjacent building exterior.

Landscaping:

- The required buffer yard landscaping shall be more than the UDO development standards. Specifically, buffer yard landscaping shall comply with UDO Section 7.5, Buffer Yards and Table 7-4 Buffer Yard Landscaping Requirements with the exception that the minimum required points per linear foot is revised as follows: Type A (8ft wide) buffer yard shall increase from 0.2 points to 0.3 points; Type B (15ft wide) buffer yard shall increase from 0.7 points to 0.9 points; and a Type C (20ft wide) buffer yard shall increase from 0.1 to 1.2.
- The required street yard landscaping shall be more than the UDO development standards. Specifically, street yard landscaping shall comply with UDO Section 7.7 Street Yards with the exception that one large tree or two small trees shall be required for every 40 linear feet of road frontage, as opposed to every 50ft of road frontage.

Screening:

- Outdoor storage and solid waste screening shall comply with UDO Section 10.1 Outdoor Storage and Solid Waste Screening Standards with the exception that fencing & landscaping are not to be allowed as screening material and solid concrete block or block wall matching the building color & material are allowable as screening materials.

Uses:

All of the uses allowed per the UDO in the O&I zoning district shall be allowed in the areas of Ashby Village designated as O&I with the following exceptions:

- NOT ALLOWED -

- Single-family homes; attached or detached or modular
- Multi-family homes; apartments, condos, etc.
- Home occupations
- Bed & breakfast inns
- Dormitories for students
- Group homes / residential care facilities
- Repair of any goods, equipment or vehicles the manufacture, assembly, or sales of which are permitted in the O&I zoning district

- Landfills; C&D/construction & demolition or LCID/land clearing & inert debris; any size
- Aquarium or planetarium
- Amphitheater
- Golf courses, public or private and golf driving ranges
- Sports stadiums or arenas
- Cemeteries, public & private, and Crematoriums & embalming
- Hospitals
- Religious complex
- Sewage treatment and water treatment plants
- Solar collectors
- Telecommunications towers
- Crop production and support functions

The follow uses that are not allowed per UDO in the O&I zoning district shall be allowed in the areas of Ashby Village designated as O&I:

- ALLOWED IN ADDITION TO THE UDO PERMITTED O&I USES-

- Bicycle sales and/or repair; non-motorized
- Books, magazines, music, etc.
- Camera and photographic supplies
- Care washes and car care centers
- Computer and software sales
- Dry cleaning and laundry
- Nurseries and greenhouses; commercial
- Pharmacy or drug store; with drive-through facility
- Performance theaters or auditorium; indoor

Sheet C9: Architectural Renderings

This sheet illustrates the vision for the overall design of this area and the buildings in this area.

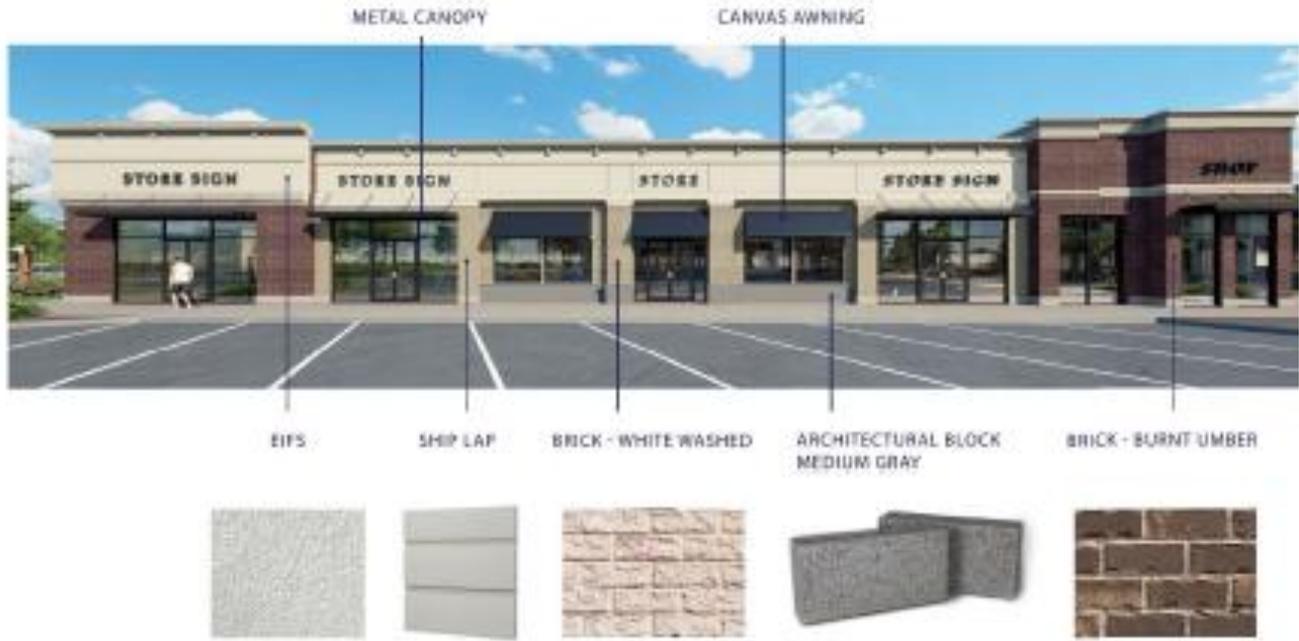


Sheet C10: Architectural Renderings

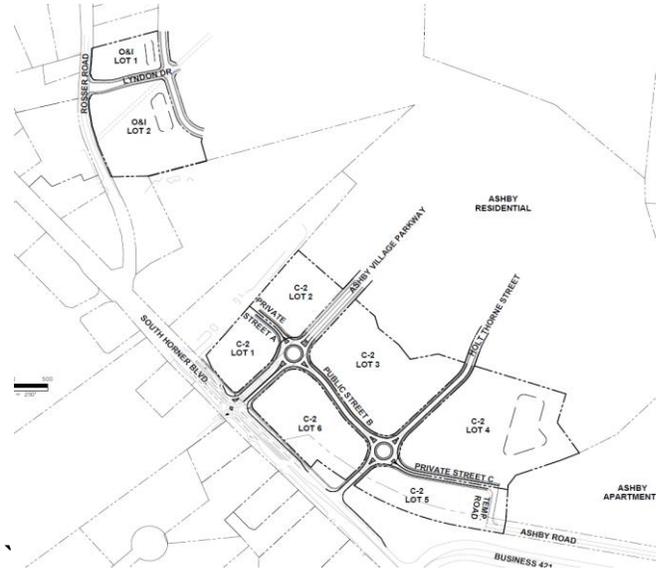
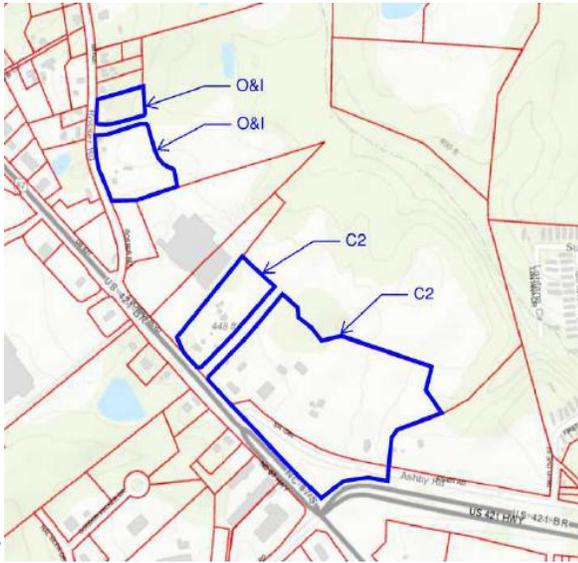
This sheet illustrates the vision for the buildings in this area. The building materials proposed are:

- Brick; burnt umber in color
- Brick; white washed in color
- Architectural block; medium gray in color
- Ship lap; no specific color information provided
- EIFS (Exterior Insulation Finishing System); no specific color information provided

Note: EIFS is a lightweight synthetic wall cladding that includes lightweight foam plastic insulation and thin synthetic coatings. Visually, this looks like a stucco exterior finish and is commonly used instead of stucco.



Adjacent Land Uses & Zoning



9652-90-4777-00; O&I; Lot 1 on Project Overview map

- North: Single-family homes at 2709, 2705, 2701, 2603 Rosser Road on land zoned Urban Neighborhood (UN-6)
- South: A roadway that serves as an entrance to a residential subdivision under construction on land zoned Ashby Village Conditional Zoning District
- East: A residential subdivision under construction on land zoned Ashby Village Conditional Zoning District
- West: Opposite Rosser Road, single-family homes at 2708, 2716, and 2800 Rosser Road on land zoned Urban Neighborhood (UN-6)

9652-90-5359-00; O&I; Lot 2 on Project Overview map

- North: A roadway that serves as the main entrance to a residential subdivision under construction on land zoned Ashby Village Conditional Zoning District
- South: Lowes Home Improvement at 3015 S. Horner Blvd on land zoned General Commercial (C-2)
- East: A residential subdivision under construction on land zoned Ashby Village Conditional Zoning District
- West: Opposite Rosser Road, Aldi grocery store at 2903 S. Horner Blvd and a commercial building with two lease units at 2905/2097 S. Horner Blvd occupied by a Starbucks restaurant with drive-through and a Mattress Firm retail store on land zoned General Commercial (C-2)

9661-08-9921-00; C-2; Lots 1 and 2 on Project Overview map

- North: A residential subdivision under construction on land zoned Ashby Village Conditional Zoning District
- South: Opposite S. Horner Blvd, Verizon Wireless at 3014 S. Horner Blvd and a commercial building with six lease units at 3090-3098 S. Horner Blvd occupied by Buffalo Wild

Wings restaurant, The UPS Store, Sarkus Express Japanese restaurant, Tropical Smoothie Café, and an AT&T store on land zoned General Commercial (C-2)

East: A residential subdivision under construction on land zoned Ashby Village Conditional Zoning District

West: A roadway that serves as an entrance to a residential subdivision under construction on land zoned Ashby Village Conditional Zoning District

9661-08-9921-00; C-2; Lots 3, 4, 5, and 6 on Project Overview map

North: A residential subdivision under construction on land zoned Ashby Village Conditional Zoning District

South: Opposite S. Horner Blvd, the entrance to Cameron Place shopping center and a commercial building with five lease units at 3100-3108 S. Horner Blvd occupied by Dunkin Donuts restaurant with drive-through, T-Mobile, Jimmy John's restaurant, and the Vitamin Shoppe on land zoned General Commercial (C-2)

Opposite Ashby Road and S. Horner Blvd, a commercial building with five lease units at 3110 A-E S. Horner Blvd occupied by Mattress Warehouse, Jersey Mike's restaurant, Sport Clips Haircuts, and FirstHealth Family Medicine (one vacant lease space) on land zoned General Commercial (C-2) and Light Industrial (LI)

Opposite Ashby Road and S. Horner Blvd, Mod Car Wash at 3120 S. Horner Blvd on land zoned General Commercial (C-2) and Light Industrial (LI)

Opposite Ashby Road and S. Horner Blvd, Ron's Barn restaurant at 3122 S. Horner Blvd, Honda Suzuki of Sanford at 3128 S. Horner Blvd, and Sanford Honda at 3130/3140 S. Horner Blvd on land zoned General Commercial (C-2)

LOCAL OVERLAY DISTRICTS

The subject property is not located within a local overlay district. This site is located along a roadway that has architectural standards for commercial development per Section 10.7 of the UDO; however, the development standards included as part of the conditional zoning take precedent over these standards.

The following is a general note included with all rezoning requests: Sanford, Lee County, and Broadway do not have a local grading permit or stormwater ordinance and rely on the NC Department of Environmental Quality to regulate land disturbing activities. For questions or concerns regarding land disturbing activities, contact the NC Division of Energy, Mineral, and Land Resources Sediment Program via mail 1612 Mail Service Center, Raleigh, NC 27699-1612, via phone at 877-623-6748 or visit the NCDEQ website at <http://deq.nc.gov>.

UTILITIES

There appears to be a public water main line along Rosser Road and S. Horner Blvd in the area of all of the four of the parcels included in the subject property. There appears to be a public sewer main line that crosses 9652-90-5359-00 and along the portion of S. Horner Blvd fronting 9661-09-2400-00 and 9661-08-9921-00 (which side of the road the sewer is on is unclear in GIS). 9652-90-4777-00 does not appear to have direct access to public sewer. This information is per our GIS mapping system and, if the rezoning is approved, all proposed public water & public sewer extensions/connections to serve future development must be approved by TriRiver Water to verify compliance with all policies and regulations including, but not limited to, off-site improvements and upgrades.

TRANSPORTATION

The subject property has approximately 574ft of frontage on Rosser Road, which is a NCDOT maintained public roadway with a 60ft right-of-way in the area of the subject property. There is approximately 355ft of frontage on S. Horner Blvd, which is a NCDOT maintained public roadway with a 120ft right-of-way in the area of the subject property. There is approximately 1,096ft of frontage on a Ashby Road, which is a City maintained public roadway with a 60ft right-of-way in the area of the subject property. This information is per our GIS mapping system and NCDOT and/or the City of Sanford must approve any proposed driveways via the site plan review/approval process to verify compliance with all applicable regulations, including, but not limited to, traffic studies and roadway improvements/turn lanes.

2011 Lee County Comprehensive Transportation Plan: This plan illustrates Rosser Road and Ashby Road as an existing roadway with no improvements noted. This plan illustrates S. Horner Blvd as an existing minor thoroughfare that needs improvement.

NCDOT Average Annual Daily Traffic Count (AADT): There is a 2023 NCDOT AADT of 4,100 vehicles per day on Rosser Road in the approximate area of the O&I designated property. There is a 2023 NCDOT AADT of 26,500 vehicles per day on S. Horner Blvd near the Lowes home improvement store. There is no information for Ashby Road.

DEVELOPMENT STANDARDS

If rezoned, the land uses, densities, and design associated with the amended Ashby Village Conditional Zoning District would apply. Any design standards not addressed within the conditional zoning district would be required to meet the current general development standards of the UDO.

NEIGHBORHOOD MEETING

A neighborhood meeting was held on December 1st with five applicant representatives and two adjoining property owners in attendance. Topics of discussion included concern about access to their property at 2603 Rosser Road and 2708 Rosser Road and questions about the development closest to these properties. Per the information provided by the applicant, no specific changes were discussed or requested and non are anticipated being made as a result of the meeting discussion.

The applicant was also contacted prior to the meeting by the owner of Ruby Tuesday's restaurant who is pro-development in this area and was forwarded the full rezoning plan set approved by the TRC for his reference.

PLAN SANLEE

The *Plan SanLee* long-range land use plan identifies the site as Mixed Use Activity Center, which is intended to facilitate development of large-scale integrated mix of uses. Development is typically a single master-planned unit that is contextually integrated into surrounding development pattern with strong mobility linkages and is within close proximity to highway interchanges and major arterials. The local example is the US Hwy 1 / Spring Land interchange area in Sanford. Information from the land use plan is provided as attachments to this report for your reference.

STAFF ANALYSIS

Our adopted land use plan designates this parcel as Mixed Use Activity Center, which is intended to facilitate development of large-scale integrated mix of uses with development that is typically a single

master-planned unit that is contextually integrated into surrounding development pattern with strong mobility linkages and is within close proximity to highway interchanges and major arterials.

This is an amendment to the Ashby Village Conditional Zoning District to provide more detail to the Office & Institutional (O&I) and the General Commercial (C-2) portions of the Ashby Village project that was approved via the site plan/subdivision plan conditional zoning process in 2021. Ultimately, it is up to the City Council to determine if they are comfortable with the information provided regarding the development of the commercial portion of Ashby Village. Additional information presented at the public hearing should also be considered in the recommendation and the final decision regarding the requested zoning map amendment.

PLANNING BOARD RECOMMENDATION

Per state law, when conducting a review of a proposed zoning text or map amendment, the planning board shall advise and comment on whether the proposed action is consistent with any comprehensive plan that has been adopted and any other officially adopted plan that is applicable. The planning board shall provide a written recommendation to the governing board that addresses plan consistency and other matters as deemed appropriate by the planning board, but a comment by the planning board that a proposed amendment is inconsistent with the comprehensive plan shall not preclude consideration or approval of the proposed amendment by the governing board. If no written report is received from the planning board within 30 days of referral of the amendment to that board, the governing board may act on the amendment without the planning board report. The governing board is not bound by the recommendations, if any, of the planning board

Sample Motions

The Planning Board shall provide a written recommendation to the City Council that addresses plan consistency and other matters as deemed appropriate by the Planning Board. These sample motions are provided by staff based on information in the *Plan SanLee* land use plan. The Planning Board members are free to create a unique motion based on different articulated findings, information that was provided during the public hearing, or other matters deemed important by the Board.

VOTE #1: APPROVE A STATEMENT ON CONSISTENCY WITH THE PLAN SANLEE AS IT RELATES TO THIS ZONING MAP AMENDMENT:

Motion Option 1: *“I make a motion that the proposed zoning map amendment **IS** consistent with the Plan SanLee long range plan designation of Mixed-Use Activity Center, because this placetype encourages projects designed as a single master-planned unit that are contextually integrated into the surrounding development pattern with strong mobility linkages within close proximity to highway interchanges and major arterials.”*

Motion Option 2: *“I make a motion that the proposed zoning map amendment **IS NOT** consistent with the Plan SanLee long range plan designation of Mixed-Use Activity Center because... (board member to complete the motion).”*

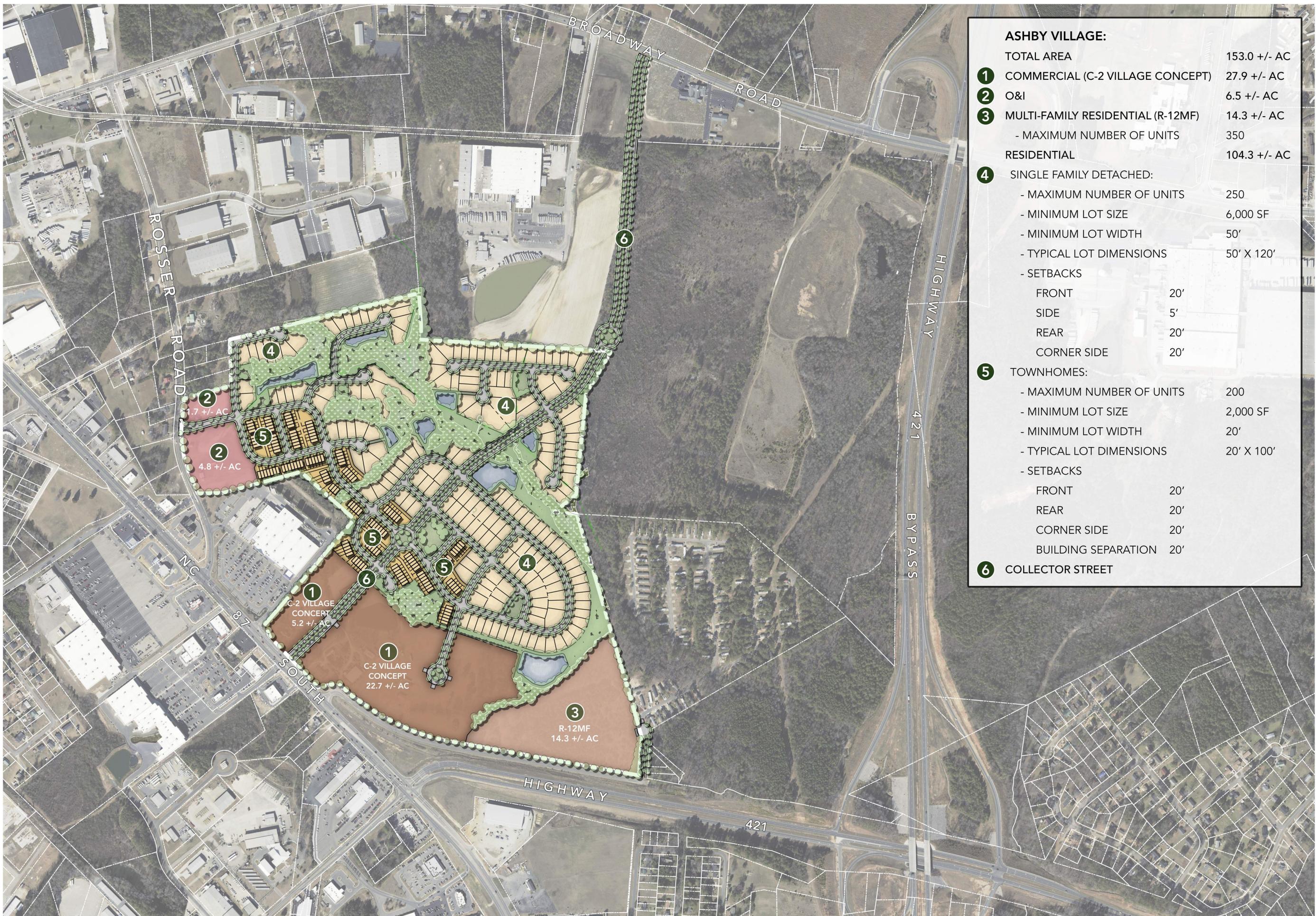
Motion Option 3 - Unique motion: The Planning Board members are free to create a unique motion based on different articulated findings, information that was provided during the public hearing, or other matters deemed important by the Board.

VOTE #2: TO RECOMMEND THAT THE CITY COUNCIL APPROVE OR DENY THE ZONING MAP AMENDMENT:

Motion Option 1: *“I make a motion that Planning Board recommend the City Council **APPROVE** the proposed zoning map amendment because it is reasonable and in the public interest given that it provides more detailed information for a conditional zoning district that was approved in 2021.”*

Motion Option 2: *“I make a motion that the Planning Board recommend the City Council **DENY** the rezoning request because it is not reasonable nor in the public interest to allow the development of this site per the detailed information provided.”*

Motion Option 3 - Unique motion: The Planning Board members are free to create a unique motion based on different articulated findings, information that was provided during the public hearing, or other matters deemed important by the Board



ASHBY VILLAGE:

TOTAL AREA	153.0 +/- AC
1 COMMERCIAL (C-2 VILLAGE CONCEPT)	27.9 +/- AC
2 O&I	6.5 +/- AC
3 MULTI-FAMILY RESIDENTIAL (R-12MF)	14.3 +/- AC
- MAXIMUM NUMBER OF UNITS	350
RESIDENTIAL	104.3 +/- AC
4 SINGLE FAMILY DETACHED:	
- MAXIMUM NUMBER OF UNITS	250
- MINIMUM LOT SIZE	6,000 SF
- MINIMUM LOT WIDTH	50'
- TYPICAL LOT DIMENSIONS	50' X 120'
- SETBACKS:	
FRONT	20'
SIDE	5'
REAR	20'
CORNER SIDE	20'
5 TOWNHOMES:	
- MAXIMUM NUMBER OF UNITS	200
- MINIMUM LOT SIZE	2,000 SF
- MINIMUM LOT WIDTH	20'
- TYPICAL LOT DIMENSIONS	20' X 100'
- SETBACKS:	
FRONT	20'
REAR	20'
CORNER SIDE	20'
BUILDING SEPARATION	20'
6 COLLECTOR STREET	

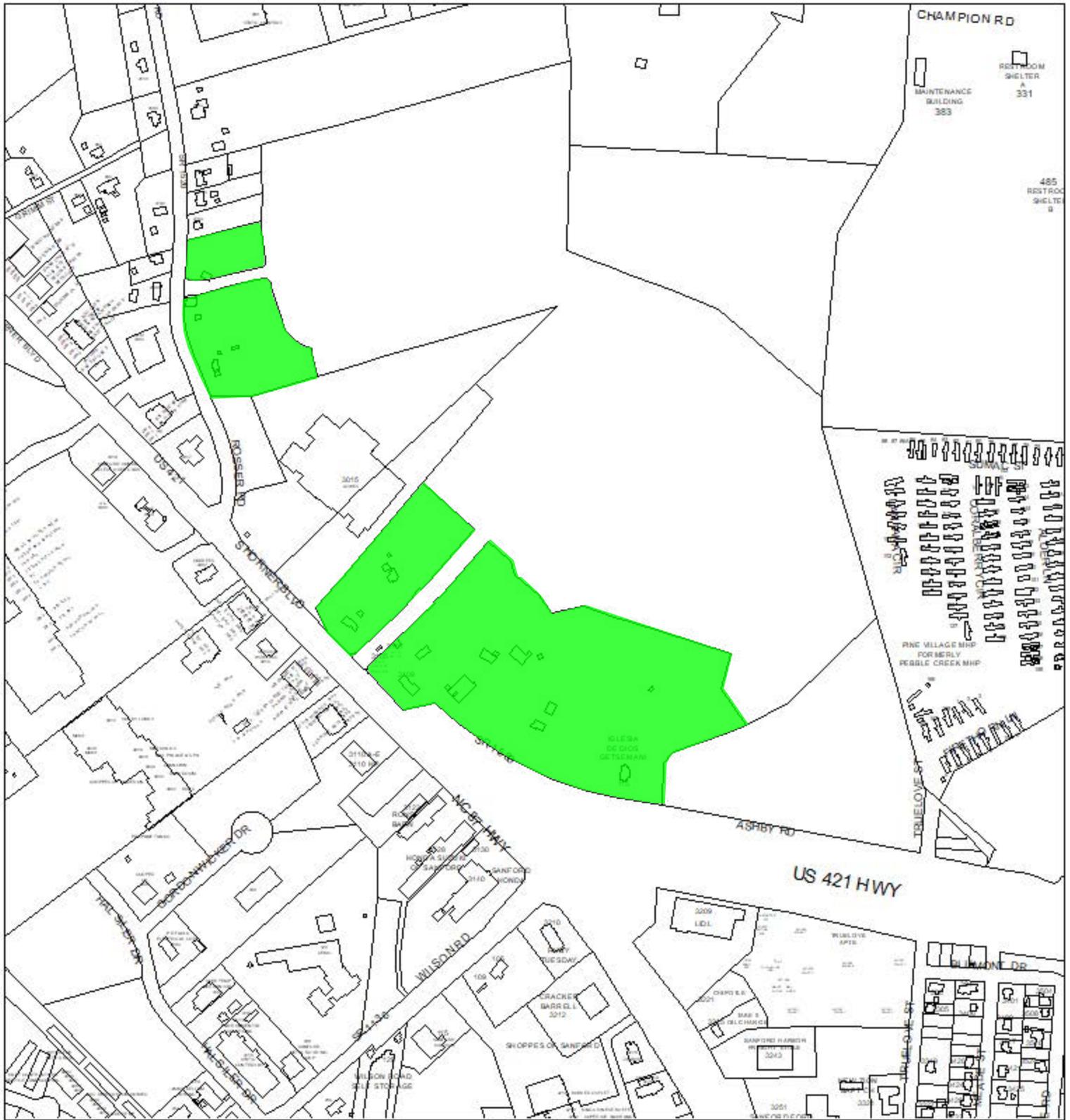
ASHBY VILLAGE - SANFORD, NC

Conceptual Development Plan - June 2, 2021



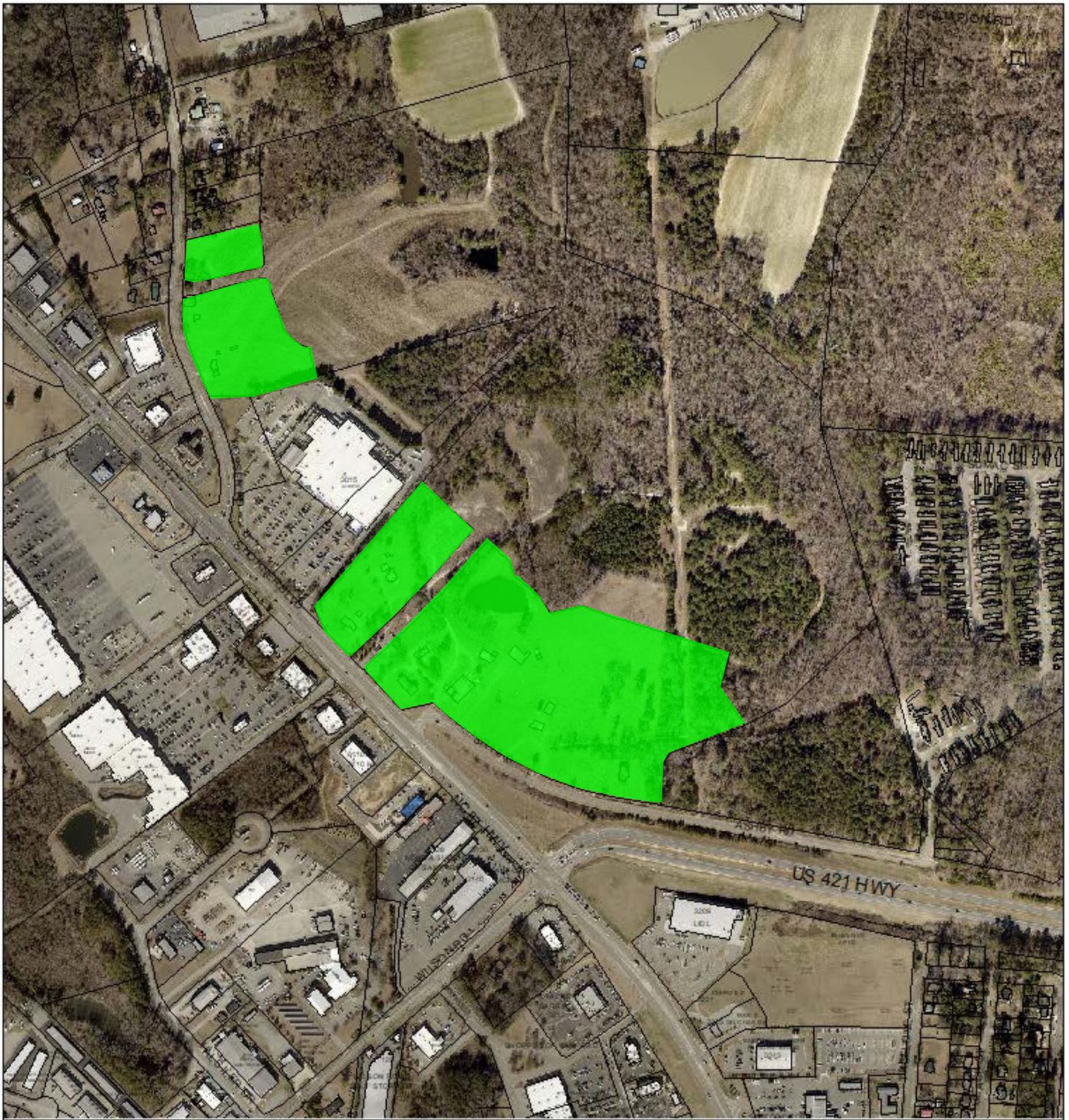
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REZONING APPLICATION:
 Amend the Ashby Village CZD to provide more detail to the
 Office & Institutional (O&I) and General Commercial (C-2) areas.

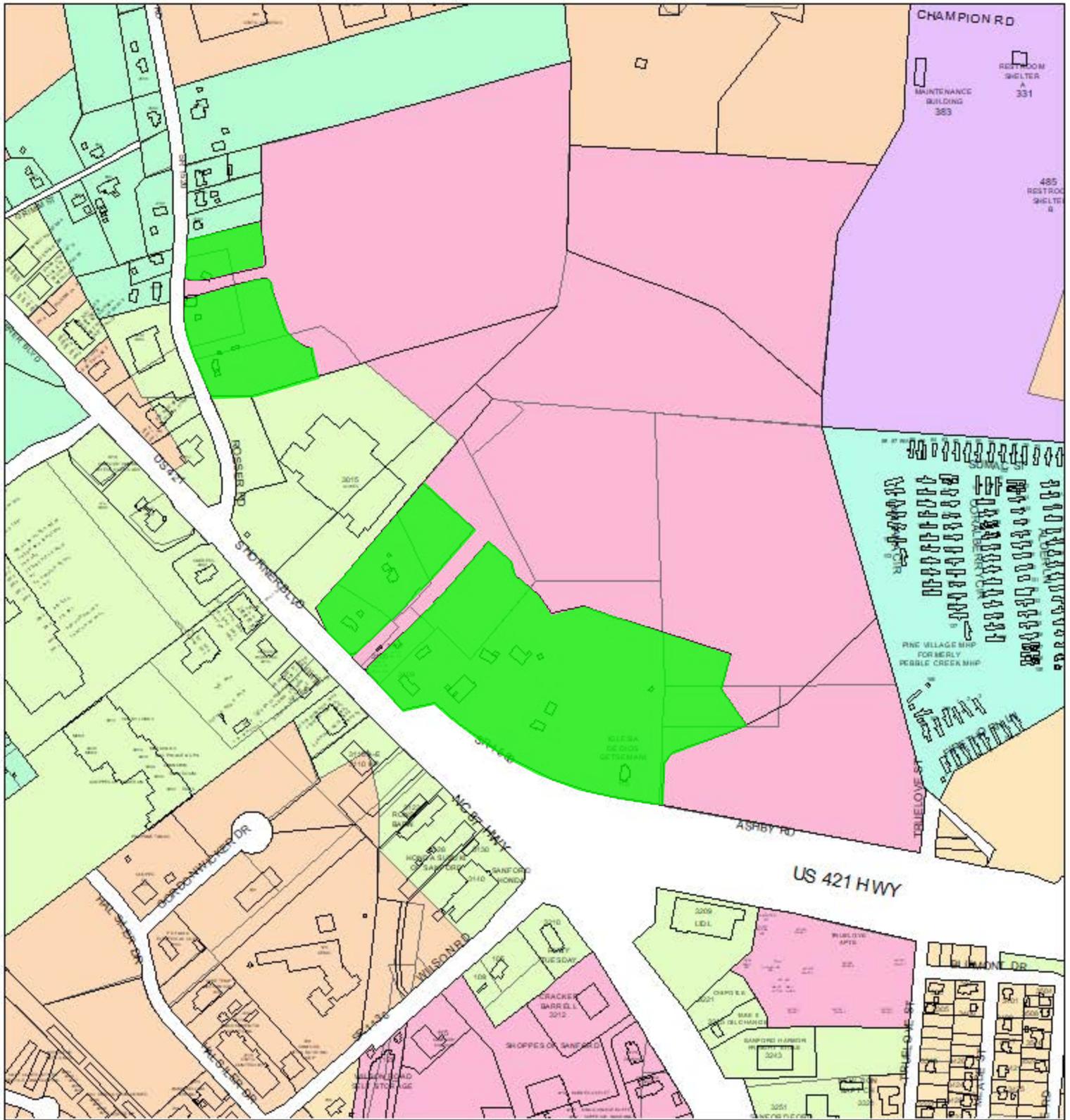




REZONING APPLICATION:
Amend the Ashby Village CZD to provide more detail to the
Office & Institutional (O&I) and General Commercial (C-2) areas.



This is a graphic illustration and not a legal document.
All information is comprised of layers of data that may or may not align correctly.

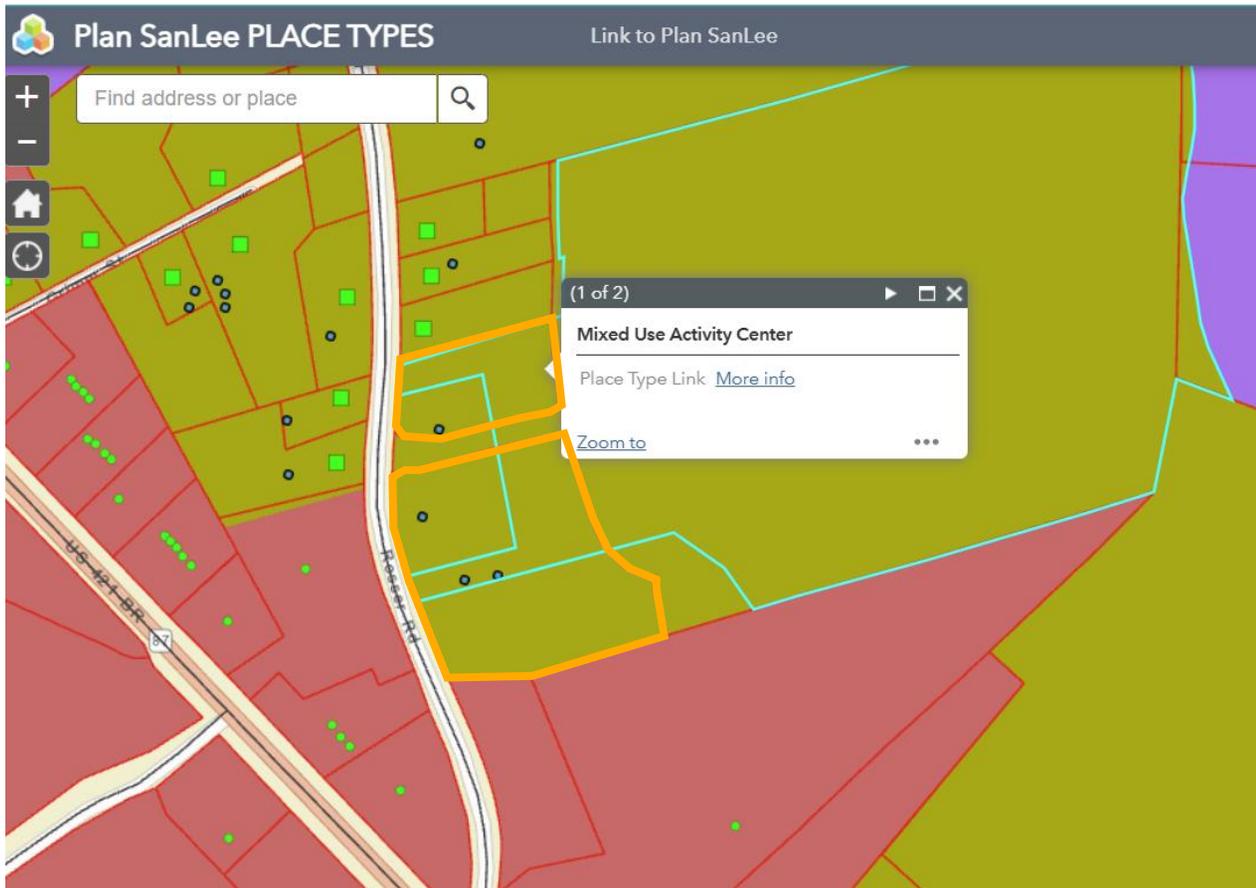


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Ian SanLee - Long Range Plan – Interactive Map of Site

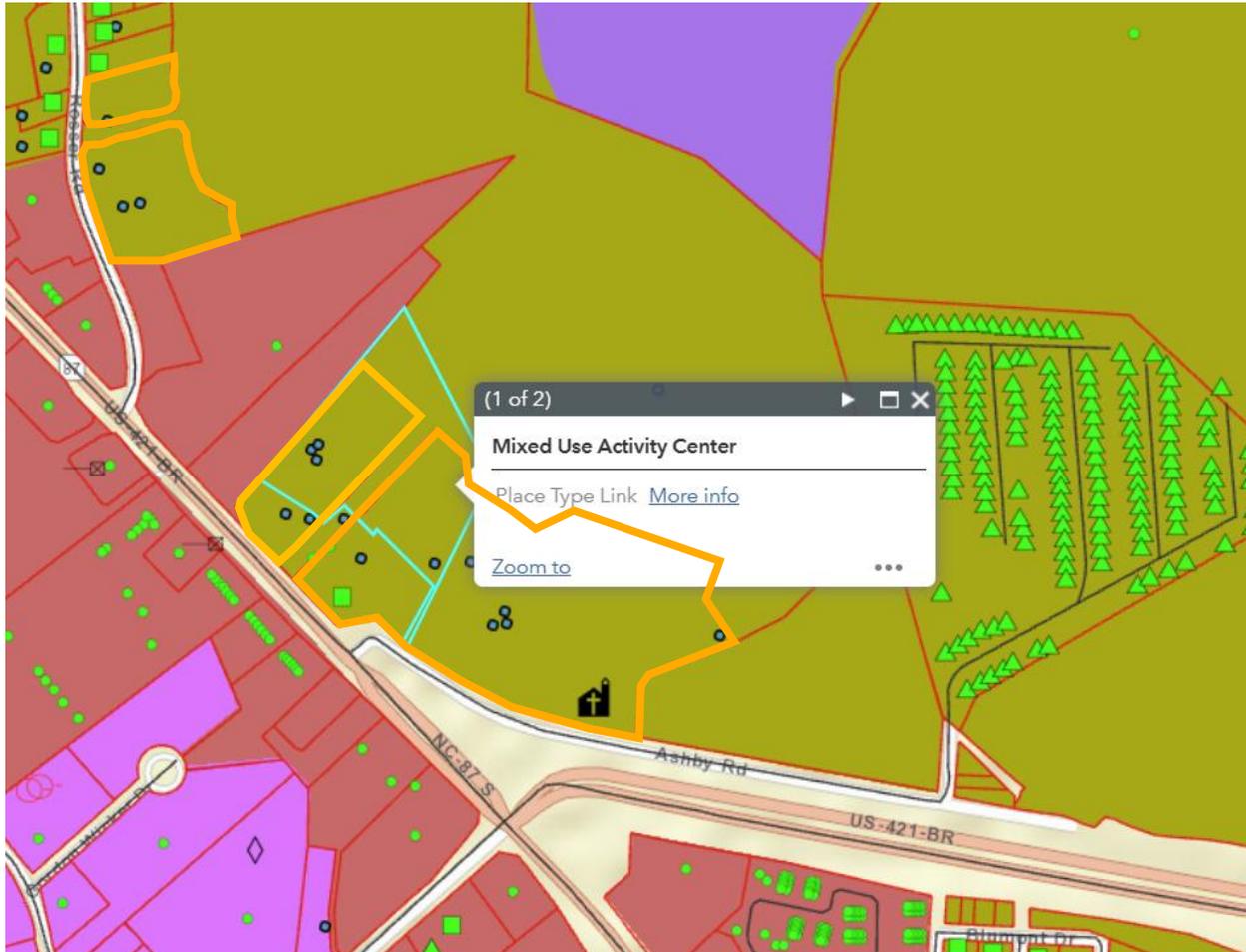


Place_Types

Place Types

- Commercial Corridor
- Countryside
- Crossroads
- Downtown
- Industrial Center
- Maker District
- Mixed Use Activity Center
- Neighborhood Center
- Neighborhood Transition
- Professional and Institutional Campus
- Suburban Neighborhood
- Urban Neighborhood
- Village Center
- Village Neighborhood

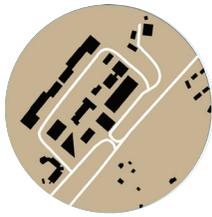
Ian SanLee - Long Range Plan – Interactive Map of Site



Place_Types

Place Types

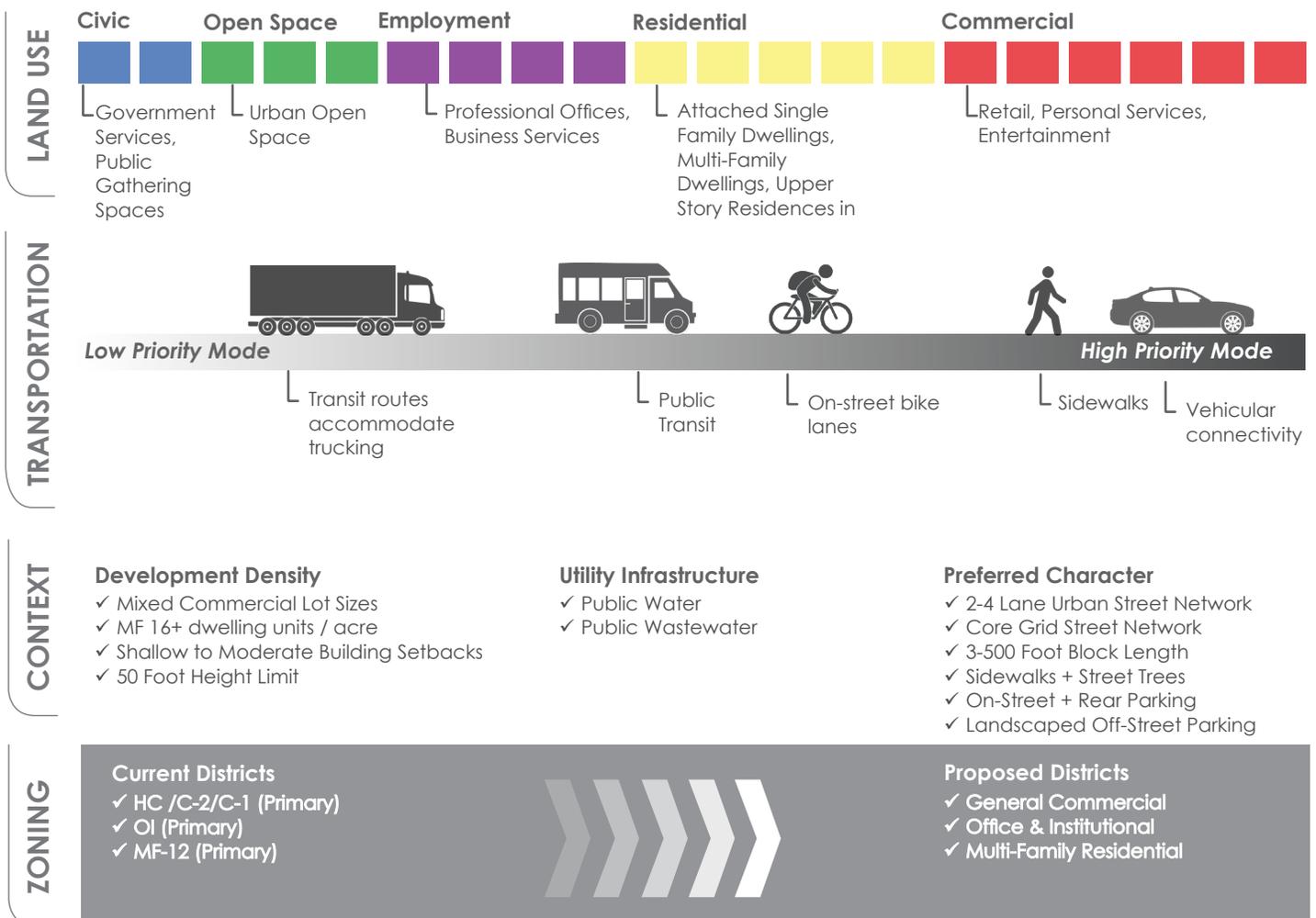
- Commercial Corridor
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- Downtown
- Industrial Center
- Maker District
- Mixed Use Activity Center
- Neighborhood Center
- Neighborhood Transition
- Professional and Institutional Campus
- Suburban Neighborhood
- Urban Neighborhood
- Village Center
- Village Neighborhood



MIXED USE ACTIVITY CENTER

- ✓ Facilitate development of large scale integrated mix of uses
- ✓ Single master-planned unit, but contextually integrated into surrounding development pattern including strong mobility linkages
- ✓ Within close proximity to highway interchanges and major arterials

Local Example - US 1 / Spring Lane Interchange Area in Sanford



O&I OFFICE & INSTITUTIONAL DISTRICT

The Office & Institutional District is established to provide for agencies and offices rendering specialized services and traditional institutional functions (both public and private) including, but not limited to, governmental facilities, cultural and recreational facilities, educational facilities, and charitable institutions.

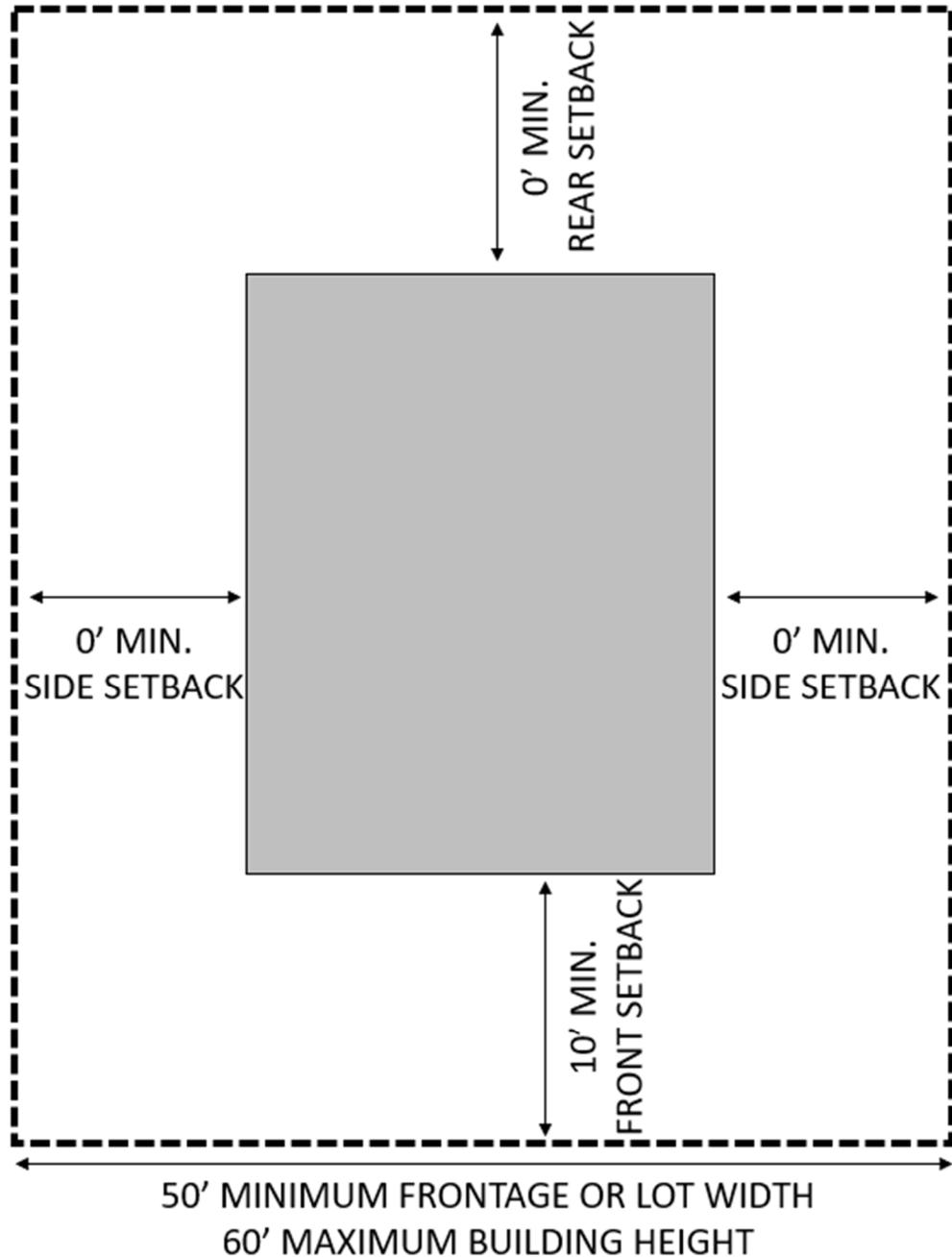


FIGURE 11: OFFICE & INSTITUTIONAL (O&I)

PERMITTED USES IN O&I OFFICE & INSTITUTIONAL

USES PERMITTED BY RIGHT

The uses listed below are permitted as of right.

<u>Accessory Uses</u>
Accessory Uses (See §5.1)
<u>Accommodations and Group Living</u>
Dormitories for the students of colleges, commercial schools, staff of hospitals
Group Home / Residential Care Facility, Level I
Group Home / Residential Care Facility, Level II
Child and youth services
Nursing, supervision, adult care homes, group care facilities and other rehabilitative services
<u>General Sales or Service</u>
Administrative services, travel arrangement and reservation services, investigation and security services (locksmiths)
Antique shops
Electronic equipment (small) sales and service
Finance and insurance services (bank, credit and finance, insurance related)
Florist
Mail order or direct selling establishments/electronic shopping and mail order houses
Medical equipment sales, rental or leasing
Office building (general)
Personal services (e.g.: nail salons, barbers, shoe repair and similar establishments) not otherwise listed
Pharmacy or drugstore without drive through facility
Printing or publishing services
Professional services (legal, accounting, architectural, graphic, consulting services, research and development, advertising, etc.)
Real estate, sales rental & leasing
Repair of any goods, equipment or vehicles, the manufacture, assembly or sales of which are permitted in that zoning district
Restaurants, no drive-in or drive-through facilities
Services to buildings and dwellings (Extermination, janitorial, landscaping, carpet and upholstery cleaning, packing and crating, etc.) no outside storage
<u>Industrial & Manufacturing Use</u>
Contractors' offices/shop without outdoor storage areas
<u>Arts, Recreation & Entertainment</u>
Aquarium or planetarium
Amphitheater
Art galleries
Exhibition convention, or conference structure
Fitness and recreational sports, gym, health, spa, reducing salon, swimming pool/ auditorium, racquet club or athletic club (not otherwise listed)
Golf courses, public and private
Golf driving ranges
Museums art galleries

Parks, playgrounds, and athletic fields operated on a noncommercial basis
<u>Education, Public Administration, Health Care and Institutional</u>
Civic, social and fraternal organizations, including community centers, meeting halls, community halls, reception halls, wedding halls for assembly and recreation
Crematorium & embalming
Day care facility, adult (See §5.38)
Fire, sheriff and emergency
Funeral homes
Governmental functions, not otherwise listed
Hospitals
Libraries
Medical and dental clinics or offices, ambulatory or outpatient care, family planning and care and blood or organ banks
Post office
Religious complex (less than 350 seats) new site
Religious complex (more than 350 seats) new site
Religious complex (any size), addition to existing complex site
Schools continuing education (alternative, adult colleges and universities and technical, trade, and other specialty schools)
Schools, pre-k – secondary (nursery and preschool, grade schools, elementary, middle and high school), addition to new site
Schools, pre-k – secondary (nursery and preschool, grade schools, elementary, middle and high school), addition to existing site
Schools, fine and performing arts
Social assistance, welfare and charitable services
<u>Transportation, Communication and Utilities</u>
Parking lots, parking structures or underground parking areas (commercial or governmental)
Radio and TV stations and studios (excluding transmission tower)
Utility lines (including electric lines, phone/cable lines distribution circuits, gas/fuel lines/water lines, steam/air conditioning lines, irrigation channels and sewer/waste water lines)
<u>Agriculture</u>
Animal production and support services (unincorporated in Lee County)
Crop production and support functions, (unincorporated in Lee County)
Crop production and support functions (Sanford and Broadway)
Forestry and logging and support services, (unincorporated Lee County)

PERMITTED USES WITH DEVELOPMENT REGULATIONS

The uses listed below are permitted as of right and are also subject to the requirements of Supplemental Development Regulations.

<u>Residential Uses</u>
Home occupancy (See §5.16)
<u>Accommodations and Group Living</u>
Bed and breakfast inn (See §5.4)
Hotel, motel, and tourist court (See §5.17)

Industrial & Manufacturing Uses
Landfills, LCID (2 acres or less in size) (See §5.19)
Education, Public Administration, Health
Cemeteries, public and private (does not include individual family plots) (See §5.6)
Day care facility, child care center (See §5.10)
Day care facility, home child care (See §5.10)

PERMITTED AS A SPECIAL USE

Special uses are subject to all other applicable standards of this ordinance and those requirements that may reasonably be imposed by the County of Lee consistent with the criteria set forth in §3.5 of this ordinance and any Development Regulations which may apply to said use.

Residential Uses
Dwelling, duplex (two-family dwelling) (See §5.47)
Dwelling, modular home
Dwelling, single-family detached
Accommodations and Group Living
Group Home / Residential Care Facility, Level III
Group Home / Residential Care Facility, Level IV
Art, Recreation & Entertainment
Sports stadiums or arenas
Transportation, Communication, and Utilities
Sewage treatment and water treatment plants

PERMITTED AS A SPECIAL USE WITH DEVELOPMENT REGULATIONS

The uses below are permitted as a special use, but will also be subject to Supplement Development Regulations.

Residential Uses
Dwelling, multifamily (three or more units) (See §10.3)
Dwelling, single-family attached (townhouses) (See §5.50)
Industrial & Manufacturing Uses
Landfills, C&D or LCID (greater than 2 acres in size) (See §5.20)
Transportation, Communication, and Utilities
Solar collectors, commercial (See §5.39)
Telecommunication Towers (See §5.33)

C-2 GENERAL COMMERCIAL DISTRICT

The “C-2” district is established to provide areas for general commercial activities designed to serve the community such as shopping centers, repair shops, wholesale businesses, and retail sales with limited outdoor display of goods and limited outdoor operations. This district promotes a broad range of commercial operations and services necessary for large regions of the County, providing community balance. “C-2” zones should be located on or within proximity to major thoroughfares. This shall not apply where an existing building or structure used as permitted within the “C-2” District has been established prior to the adoption of this Ordinance on a parcel subject to an application for rezoning.

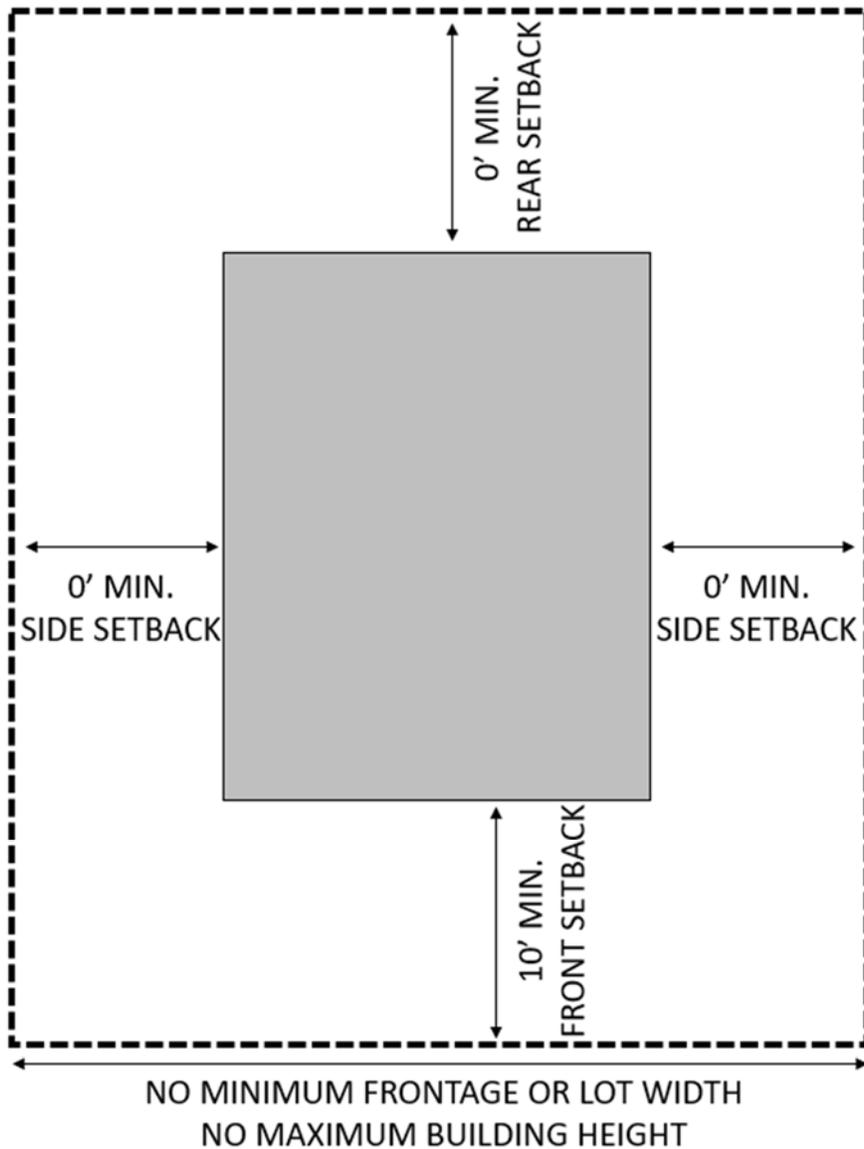


FIGURE 13: GENERAL COMMERCIAL (C-2)

PERMITTED USES IN C-2 GENERAL COMMERCIAL

USES PERMITTED BY RIGHT

The uses listed below are permitted as of right.

<u>Accessory Uses</u>
Accessory Uses (See §5.1)
<u>Accommodations and Group Living</u>
Dormitories for the students of colleges, commercial schools, staff of hospitals
Group Home / Residential Care Facility, Level I
Group Home / Residential Care Facility, Level II
Nursing, Supervision, Adult Care Homes, Group Care Facilities and other rehabilitative services
<u>General Sales or Service</u>
ABC Store (liquor sales), incorporated area only
Administrative Services, Travel Arrangement and Reservation Services, Investigation and Security Services (locksmiths)
Agricultural equipment, sales and service
Antique shops
Appliance sales Repair and Maintenance, (no outside storage)
Art dealers, supplies, sales and services
Auction sales, general merchandise (no vehicular sales)
Bakeries, retail, including manufacturing of goods for sales on the premises only
Bicycle (non motorized) Sales and/or Repair
Books, magazines, music, etc.
Camera and photographic supplies
Clothing, jewelry, luggage, shoes, etc.
Computer and Software Sales
Consumer goods, not otherwise listed
Convenience store, without gas sales
Convenience store, with gas sales
Consignment shops, used merchandise store (not otherwise listed)
Dry cleaning and laundry
Electronic equipment (small), sales and service
Farm, Landscape, and Garden Supply Sales (feed, seed, fertilizer, farm hardware, lawn furniture, mulch, fencing, fountains, statuaries, and other incidental sales of products or related items) (with indoor storage)
Farm, Landscape, and Garden Supply Sales (feed, seed, fertilizer, farm hardware, lawn furniture, mulch, fencing, fountains, statuaries, and other incidental sales of products or related items) (outdoor storage)
Farmers Markets and market shops, including open markets
Finance and insurance services (Bank, credit and finance, insurance related)
Flea markets (indoors)
Florist
Furniture or home furnishing sales

Gasoline stations
Grocery stores and supermarkets (less than 25,000 sq. ft. GFA)
Grocery stores and supermarkets (more than 25,000 sq. ft. GFA)
Hardware, home centers, lumber yard, heating and plumbing etc. outside storage
Hardware, home centers, lumber yard, heating and plumbing etc. inside storage
Heavy equipment, sales and service
Leasing/rental recreational goods (furniture art, supplies, sporting goods)
Leasing, commercial and industrial machinery and equipment
Gun shops and gunsmiths
Mail order or direct selling establishments/ electronic shopping and mail order houses
Medical equipment sales, rental or leasing
Monument and cut stone sales
Motion picture, video and audio production
Motorcycle, motorized scooters, ATV sales and/or leasing / rental (indoor display)
Motorcycle, motorized scooters, ATV sales and/or leasing / rental (outdoor display)
Motor vehicle parts, accessories, tire sales, enclosed building only
Motor vehicle motorcycle, ATV's boats, RV's, etc. repair and service
Nurseries and greenhouses, commercial (See §5.25)
Office building (general)
Palmistry services, fortune tellers, astrologers
Pawnshops (as defined by NCGS §91A-2)
Personal services (e.g. nail salons, barbers, shoe repair and similar establishments) not otherwise listed
Pet store or pet supply store
Pharmacy or drugstore, without drive through facility
Pharmacy or drugstore, with drive through facility
Printing and publishing services
Professional services (legal, accounting, architectural, graphic, consulting services, research and development, advertising, etc.
Real estate, sales, rental & leasing
Repair of any goods, equipment or vehicles, the manufacture, assembly or sales of which are permitted, in that zoning district
Restaurants, with drive-in or drive-through facilities
Restaurants, no drive-in or drive-through facilities
Retail sales or service establishments, not listed elsewhere, and conducted within an enclosed building
Services to buildings and dwellings (Extermination, janitorial, landscaping, carpet and upholstery, cleaning, packing and crating, etc. no outside storage
Service to buildings and dwellings (extermination, janitorial, landscaping, carpet and upholstery cleaning, packing and crating etc. with outside storage
Shopping center, less than 25,000 sq. ft.
Sporting goods, toys, and hobby sales, excluding guns and gunsmiths
Tattoo parlor/tattoo studio and/or body piercing
Tobacco or tobacconist

Upholstery and furniture refinishing
Wholesale trade, generally, with operations conducted and merchandise stored entirely within a building and not otherwise listed
<u>Industrial & Manufacturing Uses</u>
Contractor’s offices/shop without outdoor storage areas
Paper printing materials manufacturing
Pottery manufacturing & sales
Sign manufacturing
Warehouse structures, generally
<u>Arts, Recreation & Entertainment</u>
Aquarium or planetarium
Amphitheater
Art galleries
Botanical gardens & arboreta
Bowling Alley
Exhibition, convention, or conference structure
Fitness and recreational sports, gym, health spa, reducing salon, swimming pool auditorium racquet club or athletic club (not otherwise listed)
Golf driving ranges
Golf, miniature
Movie theater
Museums and art galleries
Outdoor stage, bandstand, or similar structure (maximum 3,000 sq. ft.)
Parks, playgrounds, and athletic fields, operated on a noncommercial basis
Performance theaters (outdoor)
Performance theaters or auditoria (indoor)
Recreation activities, commercial indoor, not otherwise listed
Skating rink – Ice or roller skating
Sports stadiums or arenas
Studios for artists, designers, musicians, photographers, sculptors, woodworking (not as home occupation)
Zoos
<u>Education, Public Administration, Health Care and Institutional</u>
Civic, social, and fraternal organizations, including community centers, meeting halls, community halls, reception halls, wedding halls for assembly and recreation
Crematorium & Embalming
Day Care facility, adult (See §5.38)
Fire, sheriff, and emergency services
Funeral homes
Governmental functions, not otherwise listed
Hospitals
Libraries
Medical and dental clinics or offices, ambulatory or outpatient care, family planning and care, and blood or organ banks

Post office
Religious complex (less than 350 seats), new site
Religious complex (more than 350 seats) new site
Religious complex (any size), addition to existing complex/site
Schools, continuing education (alternative, adult, colleges and universities and technical, trade and other specialty schools)
Schools, Pre-K-secondary (nursery and preschool, grade schools, elementary, middle and high school), new site
Schools, Pre-K-secondary (nursery and preschool, grade school, elementary, middle, and high school), addition to existing site
Schools, fine and performing arts
Social assistance, welfare and charitable services
<u>Transportation, Communication, and Utilities</u>
Bus passenger stations/terminals/shelters
Parking lots, parking structures or underground parking areas (commercial or governmental)
Radio and TV stations and studios (excluding transmission tower)
Taxi and limousine service
Utility lines (including, electric lines, phone/cable lines, distribution circuits, gas/fuel water lines, steam/ air conditioning lines, irrigation channels and sewer/waste water lines)
<u>Agriculture</u>
Animal production and support services (unincorporated Lee County)
Crop production and support functions (unincorporated Lee County)
Crop production and support functions, (Sanford and Broadway)
Forestry and logging and support services (unincorporated Lee County)

PERMITTED USES WITH DEVELOPMENT REGULATIONS

The uses listed below are permitted as of right and are also subject to the requirements of Supplemental Development Regulations.

<u>Residential Uses</u>
Home Occupations (See §5.16)
<u>Accommodations and Group Living</u>
Bed and breakfast inn (See §5.4)
Hotel, Motel and tourist court (See §5.17)
<u>General Sales or Service</u>
Animal hospitals, veterinary services, animal shelters, kennels/ animal pet services (See §5.3)
Car washes and car care centers (See §5.5)
Flea markets (outdoors) (See §5.14)
Food truck parks (See §5.47 or 5.48 depending on jurisdiction)
Freestanding ice vending unit (See §5.37)
Mini Warehousing/self-service storage leasing (See §5.22)
Motor vehicles, Boats, RV's sales and/or leasing/rental (See §5.24)
Shopping center / superstore 25,000 – 100,00 sq. ft. (See §10.2)

Shopping center / superstores, over 100,000 sq. ft. (See §10.2)
Wine shop (See §5.43)
<u>Industrial & Manufacturing Uses</u>
Brewery (microbrewery) (See §5.42)
Landfills, LCID (2 acres or less in size) (See §5.19)
<u>Arts, Recreation & Entertainment</u>
Drive in theaters (See §5.11)
Entertainment establishment (lounges, discos, nightclubs, pool halls and/or private clubs (See §5.26)
Recreation activities, commercial outdoor (defined in Article 5), not otherwise listed (See §5.28)
<u>Education, Public, Administration, Health Care and Institutional</u>
Cemeteries, public and private (does not include individual family plots) (See §5.6)
Community food service (See §5.7)
Day Care facility, child care center (See §5.10)
Day care facility, home child care (See §5.10)

PERMITTED AS A SPECIAL USE

Special uses are subject to all other applicable standards of this ordinance and those requirements that may reasonably be imposed by the County of Lee consistent with the criteria set forth in §3.5 of this ordinance any Development Regulations which apply to said use.

<u>Accommodations and Group Living</u>
Group Home / Residential Care Facility, Level III
Group Home / Residential Care Facility, Level IV
<u>Industrial & Manufacturing Uses</u>
Contractors' offices/shop with outdoor storage areas
Manufacturing, excluding others uses listed in this table
<u>Arts, Recreation, & Entertainment</u>
Amusement or theme park establishment
<u>Transportation, Communication & Utilities</u>
Public utility storage and service yards
Sewage treatment and water treatment plants

PERMITTED AS A SPECIAL USE WITH DEVELOPMENT REGULATIONS

The uses below are permitted as a special use, but will also be subject to the requirements of Supplement Development Regulations.

<u>Transportation, Communications, and Utilities</u>
Solar collectors, commercial (See §5.39)
Telecommunication towers (See §5.33)
<u>Industrial & Manufacturing Uses</u>
Landfills, C&D or LCID (greater than 2 acres in size) (See §5.20)

ADJOINING PROPERTY OWNERS LIST

PETITION BY: Application by Atwell, LLC d/b/a Atwell, PLLC; contact person, Michael J. Kane
 REQUEST: Amend the existing Ashby Village Conditional Zoning District to provide more detail to the Office & Institutional (O&I) and the General Commercial (C-2) portions of the Ashby Village project that was approved via the site plan/subdivision plan conditional zoning process in 2021
 LOCATION: Frontage on Rosser Road and S. Horner Blvd
 PIN: 9652-90-4777-00, 9652-90-5390-00, 9661-09-2400-00, and 9661-08-9921-00
 DATE: 2025-12-09

No.	PIN	PROPERTY ADDRESS	OWNER 1	OWNER 2	ML	MAIL STREET	MAIL CITY	STATE	ZIP
01	9652-90-4983-00 (house)	2709 ROSSER RD	RED CRANE PROPERTIES LLC	-	1146	THOMAS KELLY ROAD	SANFORD	NC	27330
02	9661-19-5841-00	0 HORNER BLVD	ASHBY VILLAGE HOLDINGS LLC	-	5	CENTURY DRIVE	GREENVILLE	SC	29607
03	9662-00-1085-00 Lowe's Home Improvement	3015 HORNER BLVD	THE CONTRACTOR YARD INC	-	1000	LOWES BLVD	MOORESVILLE	NC	28117
04	9651-99-5984-00 Lowe's Home Improvement	0 ROSSER RD	THE CONTRACTOR YARD INC	-	1000	LOWES BLVD	MOORESVILLE	NC	28117
05	9661-09-1785-00 Lowe's Home Improvement	3019 HORNER BLVD	THE CONTRACTOR YARD INC	-	1000	LOWES BLVD	MOORESVILLE	NC	28117
06	9661-28-0538-00	0 S HORNER BLVD	D.R. HORTON INC	-	2000	AERIAL CENTER PARKWAY	MORRISVILLE	NC	27560
Opposite side / south side of US 421 Hwy									
07	9661-17-5821-00 Lidl	3209 S NC 87 HWY	LIDL US OPERATIONS LLC	-	3500	S CLARK STREET	ARLINGTON	VA	22202
Opposite side /south side of S. Horner Blvd / NC Hwy 87 S									
08	9661-07-9708-00 Ruby Tuesday	3210 S HORNER BLVD	WAGS SANFORD LLC	-	4228	STATE STREET	ERIE	PA	16508
09	9661-07-5908-00 Sanford Honda	3130 S HORNER BLVD 3140 S HORNER BLVD	TACOHEAD ENTERPRISES LLC	-	-	PO BOX 17	BIGHORN	MT	59010
10	9661-08-3262-00 Honda Suzuki of Sanford and Ron's Barn	3122 S HORNER BLVD 3128 S HORNER BLVD	BARKER, LYNN DEE & CAROL HANCOCK/TR	THE LYNN & CAROL BARKER LIVING TRUST	982	PENDERGRASS ROAD	SANFORD	NC	27330
11A	9661-08-1392-00 Modwash	3120 S HORNER BLVD	HUTTON SANFORD MT LLC	-	736	CHERRY STREET	CHATTANOOGA	TN	37402
11B	9661-08-1478-00 Del Taco site	3116 S HORNER BLVD	TALEEN LLC	-	227	STROLLING WAY	DURHAM	NC	27707
12	9651-98-9469-00 Mattress Warehouse Jersey Mikes Sport Clips Haircuts (vacant) FirstHealth Family Medicine	3110 A-E S HORNER BLVD	MATTSANTEX LLC	-	-	PO BOX 11908	CHARLOTTE	NC	28220
13	9651-98-9715-00 Dunkin Donuts T-Mobile Jimmy Johns	3100-3108 S HORNER BLVD	AG CAMERON SHOPS LLC	-	1049	DRESSER CT	RALEIGH	NC	27609

	The Vitamin Shoppe								
14	9651-98-0533-00 Buffalo Wild Wings The UPS Store Toyko Express Tropical Smoothie Café AT&T	3010-3100 S HORNER BLVD	CC CAMERON LLC	-	1111	METROPOLITAN AVENUE	CHARLOTTE	NC	28204
15	9651-99-6087-00 Verizon	3014 S HORNER BLVD	BB SANFORD LLC	-	2320	BEECHTREE ROAD	RALEIGH	NC	27609
Opposite side / north side of S. Horner Blvd / NC Hwy 87 S; between S. Horner Blvd and Rosser Road									
16	9651-99-3859-00 First Horizon Bank	2917 S HORNER BLVD	CAPITAL BANK NATIONAL ASSOCIATION	-	-	PO BOX 2078	MEMPHIS	TN	38101
17	9652-90-1087-00 Starbucks Mattress Firm	2905-207 S HORNER BLVD	PERFORMANCE DRIVE PROPERTIES LLC	-	8185	WOOD STREET	MOUNT PLEASANT	NC	28124
18	9652-90-1333-00 Aldi	2903 S HORNER BLVD	ALDI (N.C.) LLC	-	-	PO BOX 460049	HOUSTON	TX	77056
19	9652-90-0539-00 (house)	2800 ROSSER RD	COX, RANDY L	COX, SOPHIA R	192	MONARCH LANE	SANFORD	NC	27330
20	9652-90-1741-00 (house)	2716 ROSSER RD	SATTERFIELD, REBECCA NELL	-	2716	ROSSER ROAD	SANFORD	NC	27330
21	9652-90-1984-00 (house)	2708 ROSSER RD	GREAT HOPE PROPERTIES LLC	-	-	PO BOX 1248	SANFORD	NC	27331
22	APPLICANT	Applicant: Atwell, LLC d/b/a Atwell, PLLC	Contact: Michael J. Kane, P.E.		209	N. Salem Street, Suite 220	Apex	NC	27502
23	PROPERTY OWNER	Centerpoint Investments, LLC		-	-	PO Box 1897	Apex	NC	27502

Note: "0" property number = Vacant, no addressed structures on parcel

City of Sanford Planning Board & City Council Joint Public Hearing

Text Amendment Summary (Public Hearing Cases 2026-0102 through 2026-0106) January 20th, 2026

The following text amendments are organized by Article within the UDO. Proposed changes to the language are indicated by *red text*. Sections within each Article of the UDO that are the subject of a proposed text amendment are broken down by individually with bullet points.

Zoning Text Amendment, Case 2026-0102

Proposed text amendment revisions to UDO's Appendices:

- Addition of the term "outparcel" to the UDO's glossary, found in **Appendix A (Definitions)**:

OUTPARCEL

A parcel of land located on the perimeter of a larger commercial parcel. Outparcels are individual retail sites that are subordinate to the larger parcel for access, drainage, and parking purposes.

- Revision of language in **Appendix B (Specifications for Forms to be Submitted)**, specifically for *Certificate of Approval of Private Water Supply and/or Sewage Disposal System* certificate to align with updated state statutes:

CERTIFICATE OF APPROVAL OF PRIVATE WATER SUPPLY AND/OR SEWAGE DISPOSAL SYSTEM
(Use for all jurisdictions, if applicable)

I hereby certify that the lot(s) on this plat have been evaluated under the current provisions of Title ~~15A NCAC 18A .1900 et seq.~~ Title 15A NCAC 18E et seq., and the Regulations Governing Construction and Abandonment of Wells in ~~Lee County North Carolina~~ and found to have (adequate space for an on-site, individual, private water source and)* acceptable soils for an on-site, subsurface sewage treatment and disposal system. NOTE: Due to variations in siting specific uses and potential for changes in regulations or soil conditions, issuance of a Well Permit or Improvement Permit by Lee County Environmental Health is not guaranteed.

Licensed Soil Scientist

(SEAL)

Date

License No.

* NOTE: Delete this language if a public water supply exists to serve each lot. If public water mains need to be extended to serve the lot(s), the procedures for a major subdivision must be followed.

Zoning Text Amendment, Case 2026-0103

Proposed text amendment revisions to UDO's Article 2, Section 3 (§2.3.4) relating to the Town of Broadway's Planning Board member appointment process, to match the Town of Broadway's updated municipal code:

2.3.4 MEMBERSHIP AND APPOINTMENTS FOR THE TOWN OF BROADWAY

2.3.4.1 Appointment and membership within the Town of Broadway Planning Board shall be in accordance with ~~Sections 151.01-151.03~~ §2-2 of the Town of Broadway *Code of Ordinances*.

2.3.4.2 The Board shall annually elect one of its members as chairperson and another as vice-chairperson. Election of officers shall be in accordance with ~~Section 151.04~~ §2-2 of the Town of Broadway *Code of Ordinances*.

2.3.4.3 The conduct of meetings of the Planning Board shall be in accordance with ~~Section 151.05~~ §2-2 of the Town of Broadway *Code of Ordinances*.

Zoning Text Amendment, Case 2026-0104

Proposed text amendments for Article 4 of the Unified Development Ordinance, including the following:

- Adding a note to **Table 4.7-1: Density and Dimensional Standards** that explicitly exempts cul-de-sac lots from the lot width-to-depth ratio requirement for major subdivisions.

TABLE 4.7-1: DENSITY AND DIMENSIONAL STANDARDS

ZONING DISTRICT	Minimum Lot Size (Sq. Ft.) (see Note 2)	Maximum Density (Units per Acre)	Maximum Impervious Surface Ratio (see Note 3)	Minimum Lot Width (in feet) (see Notes 2 and 5)	Minimum Lot Depth (in feet) (see note 5)	Maximum Lot Width-to-Depth Ratio (See Note 4)	Maximum Building Height (in feet)	Minimum Front Setback (in feet) (see Note 2)	Minimum Side Setback (in feet) (see Notes 2 & 9)	Minimum Rear Setback (in feet) (see Note 2)
RESIDENTIAL AGRICULTURAL (RA)	40,000	-	-	100	150	1:6	40	30	15	30
RESTRICTED RESIDENTIAL (RR)	30,000	-	-	100	125	1:6	40	30	15	30
RURAL NEIGHBORHOOD (RN-20)	20,000	-	-	80	125	1:4	40	30	12	12
SUBURBAN NEIGHBORHOOD (LOW) (SN-12)	12,000	-	-	75	100	1:4	40	20	10	10
SUBURBAN NEIGHBORHOOD (MEDIUM) (SN-9)	9,000	-	-	60	100	1:4	40	20	8	10
URBAN NEIGHBORHOOD (UN-6) <i>for detached single-family</i>	6,000	-	-	50	100	1:4	40	20	5	10
URBAN NEIGHBORHOOD (UN-6) <i>for attached single-family (townhouses)</i>	2,000	-	-	20	100	1:4	40	20	0 or 5	10
MULTI-FAMILY (MF-12)	-	12	-	50	100		60	20	20	20
NEIGHBORHOOD COMMERCIAL (NC)	-	-	0.7	50	100		50	10	0	0
OFFICE & INSTITUTIONAL (O&I)	-	-	0.7	50	100		60	10	0	0
LIGHT COMMERCIAL & OFFICE (C-1)	-	-	0.7	50	100		50	10	0	0
HIGHWAY COMMERCIAL (HC)	-	-	0.8	50	100		-	10	0	0
GENERAL COMMERCIAL (C-2)	-	-	0.8	50	100		-	10	0	0
CENTRAL BUSINESS DISTRICT (CBD)	-	-	1.0	-	-		-	0	0	0
LIGHT INDUSTRIAL (LI)	-	-	0.8	80	100		-	30	0	0
HEAVY INDUSTRIAL (HI)	-	-	0.9	100	100		-	30	0	0

NOTE 4: The Maximum Lot Width-to-Depth ratio applies to all lots created under the Major Subdivision procedure as set forth in Article 6 of this UDO, **except for cul-de-sac lots, which shall be exempt from this provision.** Lots created under the Minor Subdivision procedures are exempt from these requirements.

- Proposed text amendment to remove the land uses of *Dwelling, Modular Home, Dwelling, Single-family Attached*, and *Dwelling, Single-family Detached* from the permitted uses within the MF-12 zoning district, leaving only multifamily dwellings (3+ dwelling units) to be permitted by right within the MF-12 zoning district.

LAND USE	LBFS Function	LCBS Structure	RA Residential Agricultural	RR Residential Restricted	RN-20 Rural Neighborhood	SN-12 Suburban Neighborhood	SN-9 Suburban Neighborhood	SN-6 Suburban Neighborhood	MF-12 Multifamily	MC Neighborhood Commercial	HC Highway Commercial	C-1 Light Commercial & Office	C-2 General Commercial	O&I Office & Institutional	CBD Central Business District	U Light Industrial	HI Heavy Industrial
ACCESSORY USES																	
Accessory Uses (see §5.1)		1130	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P
Urban Beekeeping (see § 5.44)			-	-	-	-	-	-	-	-	-	-	-	-	P/D	-	-
RESIDENTIAL USES																	
Accessory Dwellings (see § 10.4)	1100	1130	P/D	P/D	P/D	P/D	P/D	P/D	-	-	-	-	-	-	-	-	-
Building, Mixed Use – Mixed commercial and residential use where commercial use is primary on first floor, with dwellings occupancy second floors or above (no unenclosed storage) (see § 5.43)		2300	-	-	-	-	-	-	-	-	-	-	-	-	P/D	-	-
Dwelling, Duplex (two-family dwelling) (see § 5.49)	1100	1121	P/D	-	-	-	P/D	P/D	-	-	-	-	-	S	-	-	-
Dwelling, Manufactured Home, Class A	1100	1150	P/D	-	-	-	-	-	-	-	-	-	-	-	-	-	-
Unincorporated Lee County and Town of Broadway only (see § 10.5)	See also – Class A Manuf. Home permitted by right in MH overlay districts																
Dwelling, Manufactured home, Class A City of Sanford only (see §10.5)	1100	1150	S/D	-	-	-	-	-	-	-	-	-	-	-	-	-	-
Unincorporated Lee County and Town of Broadway only (see § 10.5)	See also – Class A Manuf. Home permitted by right in MH overlay districts																
Dwelling, Manufactured home, Class B Unincorporated Lee County and Town of Broadway only (see § 10.5)	1100	1150	P/D	-	-	-	-	-	-	-	-	-	-	-	-	-	-
Unincorporated Lee County and Town of Broadway only (see § 10.5)	See also – Class B Manuf. Home permitted by right in MH overlay districts																
Dwelling, Manufactured home, Class B City of Sanford only (see § 10.5)	1100	1150	S/D	-	-	-	-	-	-	-	-	-	-	-	-	-	-
City of Sanford only (see § 10.5)	See also – Class B Manuf. Home permitted by right in MH overlay districts																
Dwelling, Manufactured home, Class C Unincorporated Lee County only (see § 10.5)	1100	1100	S/D	-	-	-	-	-	-	-	-	-	-	-	-	-	-
Unincorporated Lee County only (see § 10.5)	See also – Class C Manuf. Home permitted by right in MH overlay districts																
Dwelling, Manufactured home, Class C City of Sanford and Town of Broadway only (see § 10.5)	1100	1100	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
City of Sanford and Town of Broadway only (see § 10.5)	See also – Class C Manuf. Home permitted by right in MH overlay districts																
Dwelling, modular home	1100	1100	P	P	P	P	P	P	-P	-	-	-	-	S	-	-	-
Dwelling, Multifamily (three or more units) (see § 10.3)	1100	1200	-	-	-	-	-	-	P/D	-	-	-	-	S/D	-	-	-
Dwelling, Single-family attached (see § 5.50)	1100	1120	-	-	-	-	-	P/D	P/D	-	-	-	-	S/D	-	-	-
Dwelling, Single-family detached	1100	1110	P	P	P	P	P	P	-P	-	-	-	-	S	-	-	-
Home Occupation (see § 5.16)			P/D	P/D	P/D	P/D	P/D	P/D	P/D	P/D	P/D	P/D	P/D	P/D	P/D	P/D	P/D

- Proposed text amendments for **§4.11 Village Neighborhood Development (VND)** to update limited portions of the development standards found therein.

4.10.4 LOT SIZE DIVERSITY STANDARDS

A diversity in housing types and lot sizes is encouraged. Each VND development shall have a variety of housing choices provided for homebuyers.

TABLE 4.10-2 LOT SIZE CATEGORIES

1) Single-family detached dwellings on large lots (>11,999sf)
2) Single-family detached dwellings on medium lots (9,000 – 11,999sf)
3) Single-family detached dwellings on small lots (6,000-8,999sf)
4) Single-family detached dwellings, including duplexes or townhomes (2,000-4,000sf)

Minimum Lot Size	Minimum Lot Width	Minimum Front Setback	Minimum Side Setback	Minimum Rear Setback
Townhouse Lot (min. 2,000sf)	REFER TO TABLE 4.7-1 AND §5.50 FOR TOWNHOUSE STANDARDS			
Cottage Lot (min. 4,000sf)	40ft	10ft	5ft	10ft
Small Lot (min. 6,000sf)	50ft	20ft	5ft	10ft
Medium Lot (min. 9,000sf)	60ft	20ft	8ft	10ft
Large Lot (min. 12,000sf)	75ft	20ft	10ft	10ft

4.10.4.1 For every ~~125~~ 200 units of single-family residential dwellings proposed within a VND project, another lot size must be provided within the development as shown in Table 4.10-2 ~~until all lot size types are provided (e.g.: if a development exceeds 1,000 lots, all five lot size types must be included in the design).~~ Each lot size category provided shall not be less than 5% of the total number of lots proposed. ~~If a proposal exceeds 125 units, the ratio of similar sized lots must be approximately 1:1.~~

~~For example, if a subdivider proposes a 150-lot development, 75 lots should be of one particular lot size put forth in Table 4.8-1, and 75 lots should be of another size. Dwelling units associated with multifamily residential shall not count towards the 125-unit threshold.~~

4.10.5.4 The minimum lot dimensions, setbacks, and development intensities for principal buildings shall be as set forth in Table ~~4.7-1~~ 4.10-2 of this Ordinance. Setbacks for accessory structures shall comply with § 5.1 of this Ordinance. The frontage and setback requirements shall not apply to Parks and Open Space.

For any single-family detached lots proposed to have a minimum lot width less than 50ft, the lots must be rear-loaded and served by either a back alley or, if creating a double-frontage lot, a public street.

4.10.5.5 Corner lot setbacks shall be the same as a front setback unless otherwise specified by the applicant and noted on their site plan, subject to review and approval by the TRC and appropriate jurisdiction’s governing board.

4.10.6.4 All lots created within a Village Neighborhood Development shall have access to a proposed or existing public street. However, attached and detached single-family dwellings may be separated from a public right-of-

way by a strip of land under common ownership by the owners of the lots wherein access and utility easements, where necessary, are established. Vehicular access, however, may be provided by privately maintained proposed, or existing, alleyways. Back alleyways that provide vehicular access to dwellings that front an existing or proposed public street are an encouraged design feature. Proposing residential dwellings with backyards facing existing or proposed public streets should be avoided whenever practical.

Zoning Text Amendment, Case 2026-0105

Proposed text amendment for Article 6 of the Unified Development Ordinance, including the following:

6.7.1.2.1 Secondary access shall be ~~provided~~ **required** for major residential subdivisions ~~of 30 or more lots where the total number of lots exceeds 100~~. Secondary access must be a paved, internal public street that connects to an existing public street to provide adequate traffic circulation and connectivity.

Zoning Text Amendment, Case 2026-0106

Proposed text amendments for Article 10 of the Unified Development Ordinance, including the following:

- Clarifying language for §10.1 relating to outdoor storage standards

10.1.3.2 Outdoor storage areas shall be ~~screened from view from a public street or from adjoining residentially- or commercially-zoned parcels~~ by a Type C buffer yard in accordance with § 7.5 of this Ordinance.

10.1.3.7 Outdoor storage shall only be permitted as an accessory use. Outdoor storage must be established with a principal land use and structure(s).

- Revised language for §10.7 that gives Historic Preservation Commission authority over commercial design within Sanford’s historic district:

10.7.2.3 EXEMPTIONS

The following commercial land uses are not subject to the standards of this § 10.7:

- Multi-family residential development (which is addressed in § 10.3 of this Ordinance).
- Shopping centers or other large retail “Superstores” that are in excess of 25,000 square feet (which are subject to design standards of § 10.2 of this UDO).
- Any land use as classified in Table 4.6-1 of this UDO under the land use subheading Industrial and Manufacturing Uses and includes a total site acreage of five acres or greater and/or a total amount of structures with a GFA of 25,000 square feet or greater. See § 10.8 of this Ordinance for industrial design standards.
- Building lots that were created as part of an office/business park or an industrial park if such lots do not take vehicular access directly from a thoroughfare or freeway as identified in § 10.7.2.2. Such lots shall be exempt only if access is via a secondary street.

- This shall not apply to the ~~Downtown Sanford and Rosemount-McIver Local Historic Districts. CBD Central Business District zoning classification except as located within the Town of Broadway.~~
- Some additional language within §10.7 to require sidewalks for most new commercial development, unless deemed impractical.

10.7.3.8 PEDESTRIAN CONNECTIVITY Sidewalks shall be required adjacent to all public streets that provide access to the development. This requirement may be waived by the Zoning Administrator if deemed impractical. Such improvements may be subject to road widening and other related improvements. Road widening, sidewalks, curb and guttering, utility relocations, and all other related improvements shall be the responsibility of the developer and/or owner.

Sidewalks shall be constructed within the interior of the development to link buildings with other destinations such as, but not limited to: parking, adjoining streets, adjoining sidewalks, or adjoining developments or amenities where appropriate pedestrian connections can be reasonably accomplished. These interior sidewalks shall be constructed in accordance with the standards for sidewalks as set forth in Article 10 of this Ordinance.

CITY OF SANFORD PUBLIC NOTICE

Notice is hereby given that the Sanford City Council and Planning Board will hold joint legislative hearings on Tuesday, January 20, 2026 in the Council Chambers of the Sanford Municipal Center at 225 E. Weatherspoon Street, Sanford, N.C. These public hearings provide the public an opportunity to be heard. The Boards will consider one (1) application to amend the Official Zoning Map of the City of Sanford, NC and five (5) staff-initiated text amendments to the to the jointly adopted City of Sanford/Lee County/ Town of Broadway Unified Development Ordinance (UDO). The hearings will begin at 6:00 p.m. or as soon thereafter as deemed practical by the Boards. The rezoning application and proposed text amendments are described below:

1. ZONING MAP AMENDMENT / REZONING APPLICATION; CASE 2026-0101

Application by Atwell, LLC d/b/a Atwell, PLLC to amend the existing Ashby Village Conditional Zoning District to provide more detail to the Office & Institutional (O&I) and the General Commercial (C-2) portions of the Ashby Village project that was approved via the site plan/subdivision plan conditional zoning process in 2021. The subject property is comprised of four parcels of land totaling 36.9 acres with frontage on Rosser Road and S. Horner Blvd. The subject property is identified as Lee County Tax Parcels 9652-90-4777-00 (O&I), 9652-90-5359-00 (O&I), 9661-09-2400-00 (C-2), and 9661-08-9921-00 (C-2) as depicted on Tax Maps 9652.20, 9662.03, 9651.08, and 9661.01.

2. ZONING TEXT AMENDMENT; CASE 2026-0102

Staff-initiated text amendment to revise the Unified Development Ordinance's (UDO's) Appendix A, to add a legal definition for the term "outparcel," and Appendix B, to revise the Lee County Environmental Health certificate language to align with recently changed state statutes.

3. ZONING TEXT AMENDMENT; CASE 2026-0103

Staff-initiated revisions to the Unified Development Ordinance (UDO) Article 2, Section 3 (§2.3.4) relating to Town of Broadway's Planning Board appointments to align the language with recently updated Town of Broadway municipal code language.

4. ZONING TEXT AMENDMENT; CASE 2026-0104

Staff-initiated text amendments for Article 4 of the Unified Development Ordinance (UDO), including the following:

- The addition of an exemption from the lot width-to-depth ratio for cul-de-sac lots as a result of a major subdivision, which shall be included as a note in Table 4.7-1's Density and Dimensional Standards.
- The removal of detached single-family dwellings (site-built and modular) and attached single-family dwellings as permitted uses within the MF-12 (multifamily) zoning district.
- Updates for development standards to the recently established Village Neighborhood Development (VND), including the expansion of lot type options, increasing the minimum number of lots that would trigger a necessary change in lot types provided from 125 to 200, replacing the 1:1 ratio for required lot types with a 5% minimum requirement, and the inclusion of new permitted lot design options for developers.

5. ZONING TEXT AMENDMENT; CASE 2026-0105

Staff-initiated text amendment for Article 6 of the Unified Development Ordinance (UDO) to amend §6.7.1.2.1 by changing the threshold for two access points within a new subdivision from 30 lots to 100 lots to align with NC Fire Code standards.

6. ZONING TEXT AMENDMENT; CASE 2026-0106

Staff-initiated text amendments for Article 10 of the Unified Development Ordinance (UDO) to add the following new language:

- Clarifying language for §10.1.3.2 regarding the purpose of landscape screening for outdoor storage.
- Clarifying language for §10.1.3.7 regarding outdoor storage being permitted only as an accessory use to align with long-standing interpretations of the UDO.
- Clarifying language for §10.7.2.3 that puts commercial development's architectural design within Sanford's local historic districts under the purview of the Historic Preservation Commission
- Clarifying language for §10.7 that includes specific conditions in which pedestrian connectivity is required for commercial development.

The public is cordially invited to attend. For those wishing to speak during a public hearing, it is required that the speaker sign up prior to the public hearing in the lobby of the Sanford Municipal Center; planning staff will be present to facilitate this sign-up requirement.

Further information may be obtained from the Sanford/Lee County Community Development Department located at 115 Chatham Street in downtown Sanford or by contacting Amy McNeill at (919) 718-4656, ext. 5397 or amy.mcneill@sanfordnc.net. Upon request and with 24-hour notice, the City will provide an interpreter for the hearing impaired or any other type of auxiliary aid.

Cualquier ciudadano que tenga preguntas o comentarios de las cosas al referido, puede comunicarse a el departamento de desarrollo para Sanford/Condado de Lee, llame al (919) 718-4656.

The Sanford Planning Board agendas are posted on the City of Sanford website at <https://www.sanfordnc.net/AgendaCenter> and contain addition information regarding the items referenced in this notice.

By Bonnie Bryant, Clerk
City of Sanford

Please publish the attached Public Notice in the Sanford Herald Classifieds Legal Section on Thursday, January 8, 2026 and on Thursday, January 15, 2026. If you have any questions regarding this notice, please call or email Amy McNeill at amy.mcneill@sanfordnc.net or 919-718-4656, ext. 5397.

Please reference this account (30031885) on the invoice and refer to as Sanford Planning Board Public Hearing Notice. You may send the publishers affidavit to the Sanford/Lee County Community Development Office, P.O. Box 3729, Sanford, NC 27330, Attention: Angela Baker.

January 7, 2026

Dear Adjacent Property Owner:

The Unified Development Ordinance (UDO) of Sanford, North Carolina requires that adjacent property owners be notified when a request for a change in zoning classification has been scheduled for a public hearing before the Sanford City Council and Planning Board.

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ADJACENT PROPERTY OWNERS' NOTIFICATION CERTIFICATION

I, Amy J. McNeill, hereby certify that the property owners and adjacent property owners of the following rezoning petitions as indicated on the Lee County Tax Maps were notified by First Class U.S. Mail on Wednesday, January 7, 2026.

1. ZONING MAP AMENDMENT / REZONING APPLICATION; CASE 2026-0101

Application by Atwell, LLC d/b/a Atwell, PLLC to amend the existing Ashby Village Conditional Zoning District to provide more detail to the Office & Institutional (O&I) and the General Commercial (C-2) portions of the Ashby Village project that was approved via the site plan/subdivision plan conditional zoning process in 2021. The subject property is comprised of four parcels of land totaling 36.9 acres with frontage on Rosser Road and S. Horner Blvd. The subject property is identified as Lee County Tax Parcels 9652-90-4777-00 (O&I), 9652-90-5359-00 (O&I), 9661-09-2400-00 (C-2), and 9661-08-9921-00 (C-2) as depicted on Tax Maps 9652.20, 9662.03, 9651.08, and 9661.01.

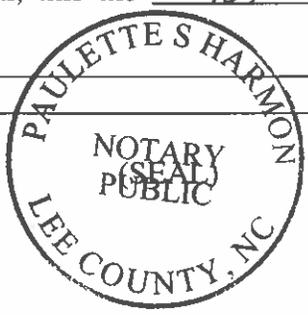
Title and Signature: Senior Planner, Amy J. McNeill Date: 01-07-2026

Lee County, North Carolina

I, Paulette S. Harmon, a Notary Public for Lee County and State of North Carolina do hereby certify that Amy J. McNeill, personally appeared before me on this day and acknowledged the due execution of the foregoing Instrument. Witness my hand and official seal, this the 12th day of January, 2026.

Notary Public Signature: Paulette S. Harmon

My Commission expires October 11th, 2030



CITY OF SANFORD
PLANNING BOARD STAFF REPORT
ACTIONS OF THE CITY COUNCIL ON PLANNING BOARD RECOMMENDATIONS
January 20, 2025

1. ZONING MAP AMENDMENT / REZONING APPLICATION; CASE 2025-1201

Application by CASTO-CCM Sanford Owner, LLC to rezone 44.78 acres +/- comprised of Riverbirch Corner shopping center at 1015-1133 Spring Lane, one outparcel at 1135 Spring Lane, and two adjoining vacant parcels from General Commercial (C-2) and Office & Institutional (O&I) to General Commercial Conditional Zoning District (C-2-C) to allow the redevelopment of a shopping center with it's own unique signage and landscaping standards. The subject property is identified as Lee County Tax Parcels 9643-01-0668-00, 9633-92-8481-00, 9643-02-3208-00 and 9643-00-5683-00 as depicted on Tax Maps 9643.03 and 9633.04.

2025-12-20 SPB: Recommended to approve by a unanimous vote

2026-01-06 SCC: Voted to approve.