

**CITY COUNCIL AGENDA  
SANFORD, NORTH CAROLINA  
Sanford Municipal Building  
Council Chambers  
225 East Weatherspoon Street, Sanford, NC  
January 20, 2026      5:00 P.M.**



1. **MEETING CALLED TO ORDER**
2. **INVOCATION**
3. **PLEDGE OF ALLEGIANCE**
4. **APPROVAL OF AGENDA**
5. **CONSENT AGENDA**
  - A. Release of City Council Closed Session Minutes Dated June 29, 2021, Item #1 (Pages 5-6)
  - B. Release of City Council Closed Session Minutes Dated April 1, 2025, Item #3 (Pages 7-8)
  - C. Release of City Council Closed Session Minutes Dated August 26, 2025, Item #2 (Pages 9-10)
  - D. Release of City Council Closed Session Minutes Dated September 2, 2025 Item #2 (Pages 11-12)
  - E. City Council Workshop Minutes Dated November 12, 2025 (Pages 13-16)
  - F. City Council Meeting Minutes Dated December 2, 2025 (Pages 17-21)
  - G. City Council Workshop Minutes Dated December 9, 2025 (Pages 22-24)
  - H. City Council Meeting Minutes Dated December 16, 2025 (Pages 25-28)
  - I. City Council Meeting Minutes Dated January 6, 2026 (Pages 29-33)
  - J. Ordinance Amending the Annual Operating Budget of the City of Sanford FY 2025-2026 (Siler City WWTP) (Pages 34-36)
  - K. Ordinance Amending the Annual Operating Budget of the City of Sanford FY 2025-2026 (Demo and Site Cleanup) (Pages 37-38)

6. **SPECIAL AGENDA**

Presentation of North Carolina Recreation and Park Association Award (Page 39)

7. **REGULAR AGENDA**

8. **NEW BUSINESS (Items for discussion and action will only be taken if necessary).**

A. Consider Presentation by Joyce and Company – Audit Period Ending June 30, 2025 (Page 40-60)

B. Consider Resolution in Support of the Temporary Closure of Trade Street for Busking in the ‘Boro (Pages 61-65)

C. Consider Resolution in Support of the Temporary Closure of Cole Street City Parking Lot for the Blues, Brews and BBQ Event (Pages 66-72)

D. Consider Resolution in Support of the Temporary Closure of the Cole Street City Parking Lot for the May Carolina Indie Fest (Pages 73-78)

E. Consider Resolution in Support of the Temporary Closure of the Cole Street City Parking Lot for the September Carolina Indie Fest (Pages 79-84)

F. Consider Ordinance Amending the Annual Operating Budget of the City of Sanford FY 2025-2026 (Durham Transmission Main Bypass Project and Renaissance Drive Looping Watermain Project) (Pages 85-86)

G. Consider Capital Project Ordinance (Durham Transmission Main Bypass Project) (Pages 87-88)

H. Consider Capital Project Ordinance (Renaissance Drive Looping Watermain Project) (Page 89-90)

I. Consider Resolution Authorizing the Advertisement of an Electronic Auction to Sell Certain Personal Property of the City of Sanford (Pages 91-94)

J. Consider Acceptance of Grant from Firehouse Subs for Purchase of AEDs for Fire Department (Page 95)

9. **DECISIONS ON PUBLIC HEARINGS**

10. **CASES FOR PUBLIC HEARING: to be held jointly with the Planning Board. Public hearings are held at 6 P.M.**

A. **ZONING MAP AMENDMENT / REZONING APPLICATION: CASE 2026-0101**

Application by Atwell, LLC d/b/a Atwell, PLLC to amend the existing Ashby Village Conditional Zoning District to provide more detail to the Office & Institutional (O&I) and the General Commercial (C-2) portions of the Ashby Village project that was approved via the site plan/subdivision plan conditional zoning process in 2021. The subject property is comprised of four parcels of land totaling 36.9 acres with frontage on Rosser Road and S. Horner Blvd. The subject property is identified as Lee County Tax Parcels 9652-90-

4777-00 (O&I), 9652-90-5359-00 (O&I), 9661-09-2400-00 (C-2), and 9661-08-9921-00 (C-2) as depicted on Tax Maps 9652.20, 9662.03, 9651.08, and 9661.01. (Pages 96-149)

**B. ZONING TEXT AMENDMENT: CASE 2026-0102**

Staff-initiated text amendment to revise the Unified Development Ordinance's (UDO's) Appendix A, to add a legal definition for the term "outparcel," and Appendix B, to revise the Lee County Environmental Health certificate language to align with recently changed state statutes. (Page 150)

**C. ZONING TEXT AMENDMENT: CASE 2026-0103**

Staff-initiated revisions to the Unified Development Ordinance (UDO) Article 2, Section 3 (§2.3.4) relating to Town of Broadway's Planning Board appointments to align the language with recently updated Town of Broadway municipal code language. (Page 151)

**D. ZONING TEXT AMENDMENT: CASE 2026-0104**

Staff-initiated text amendments for Article 4 of the Unified Development Ordinance (UDO), including the following:

- The addition of an exemption from the lot width-to-depth ratio for cul-de-sac lots as a result of a major subdivision, which shall be included as a note in Table 4.7-1 Density and Dimensional Standards.
- The removal of detached single-family dwellings (site-built and modular) and attached single-family dwellings as permitted uses within the MF-12 (multifamily) zoning district.
- Updates for development standards to the recently established Village Neighborhood Development (VND), including the expansion of lot type options, increasing the minimum number of lots that would trigger a necessary change in lot types provided from 125 to 200, replacing the 1:1 ratio for required lot types with a 5 percent minimum requirement, and the inclusion of new permitted lot design options for developers. (Pages 152-155)

**E. ZONING TEXT AMENDMENT: CASE 2026-0105**

Staff-initiated text amendment for Article 6 of the Unified Development Ordinance (UDO) to amend §6.7.1.2.1 by changing the threshold for two access points within a new subdivision from 30 lots to 100 lots to align with NC Fire Code standards. (Page 155)

**F. ZONING TEXT AMENDMENT: CASE 2026-0106**

Staff-initiated text amendments for Article 10 of the Unified Development Ordinance (UDO) to add the following new language:

- Clarifying language for §10.1.3.2 regarding the purpose of landscape screening for outdoor storage.
- Clarifying language for §10.1.3.7 regarding outdoor storage being permitted only as an accessory use to align with long-standing interpretations of the UDO.
- Clarifying language for §10.7.2.3 that puts commercial development's architectural design within Sanford's local historic districts under the purview of the Historic Preservation Commission.
- Clarifying language for §10.7 that includes specific conditions in which pedestrian connectivity is required for commercial development. (Pages 155-161)

***The Planning Board shall retire to the West End Conference Room.***

11. **OTHER BUSINESS**  
Closed Session (Page 162)

12. **ADJOURNMENT**

**MINUTES OF CLOSED SESSION**  
**City Council Meeting**  
**225 E. Weatherspoon Street, Sanford, NC**  
**City of Sanford – June 29, 2021**

Upon a motion duly made, seconded, and carried in the June 29, 2021, open session of the City Council meeting, the Council went into closed session in accordance with N.C.G.S.143-318.11(a)(3), to consult with an attorney employed and retained by the public body in order to preserve the attorney-client privilege; and (4) to discuss matters relating to the location or expansion of industries or other businesses in the area served by the public body. The following people were present:

Mayor T. Chet Mann	Council Member Sam Gaskins
Council Member Jimmy Haire	Council Member Charles Taylor
Council Member Rebecca Wyhof Salmon	Council Member James Williams
Council Member Norman “Chas” Post, III	Mayor Pro Tem Byron Buckels
City Manager Hal Hegwer	City Attorney Susan Patterson
City Clerk Bonnie Davis	Deputy Clerk Vicki Cannady
Management Analyst Holly Marosites	Public Works Director Vic Czar
Financial Services Director Beth Kelly	

**Item #1**

SAGA Chief Executive Officer Jimmy Randolph introduced John Cotton Dean, SAGA’s new Economic Development Manager.

Mr. Randolph stated that Bob Joyce has been working on a project that was presented in a public hearing to the County last November. The Commissioners approved an incentive for the project at that time, which was not in the City limits but the company, for various reasons, is now considering a different site. SAGA is seeking consensus from Council to move forward with this project, Project Row, with incentives and to hold a public hearing. The project is an advanced manufacturing company for building materials, fabrication, manufacturing, and warehousing operating, with a proposed factory and warehouse of about 240,000 square feet. It would entail 310 new jobs over five years, with about half of them will be management, sales, and engineering, and the other half production and logistics. The average wage would be \$46,839, higher than our current county average of \$42,500. The original project summary indicated an investment of \$7.5 million but they have now indicated that will likely increase (SAGA expects a revised project summary next week). They are a supplier to an existing local building industrial and would pay 50 percent of employee health coverage and additional competitive benefits.

SAGA’s Economic Development Committee recommended a five-year 50 percent incentive like the one approved by the County last fall. The total incentive, based on the current project summary, from the City over five years would be about \$93,000 and SAGA proposes holding a public hearing next week since the project is moving quickly and they are also considering a site in Emporia, Virginia. They are currently operating in the former Caterpillar logistics building on Elwin Buchanan Drive and that is the site the originally proposed to expand. They are considering a 42 acre site at a strategic location off Colon Road in an industrial area that would not require infrastructure building (between CSX and the Norfolk Southern rail line). They propose 120,000 of the 720,000 square feet for manufacturing custom modular or panelized construction materials and 120,000 square feet for warehouse space. While this type of materials has been around for years, it is becoming more popular and widely used, particular in the current

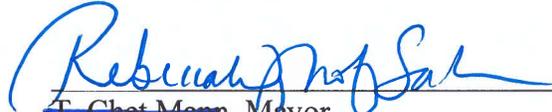
market for housing construction. They are widely used by large tract buildings (such as D.R. Horton Homes) and the system could reduce construction time by as much as 50 days for a stick-built home.

Council Member Salmon commented that we have discussed that site due to the rail access and we want to maximize use of this parcel. Mr. Randolph responded by Mr. Joyce reminded him that this is the fifth project that considered the site since SAGA was formed but nothing has located there yet (the last project considering it was Project Hudson). The issue is to what degree do we, as a community, want to continue influencing a willing seller and willing buyer and whether we have a realistic opportunity in the foreseeable future to land a better project. This is a solid project with a high number of jobs, and they will want to be annexed into the City limits.

It was the consensus of Council to hold a public hearing on Project Row.

**ALL EXHIBITS CONTAINED HEREIN ARE HEREBY INCORPORATED BY REFERENCE AND MADE A PART OF THESE MINUTES.**

Respectfully submitted,

  
\_\_\_\_\_  
T. Chet Mamm, Mayor  
Rebecca Wyhof Salmon

Attest:

  
\_\_\_\_\_  
Bonnie Davis, City Clerk  
Bryant

Council Member Charles Taylor made the motion to approve and release these amended minutes on Tuesday, January 6, 2026. Seconded by Council Member Linda Rhodes, the motion carried unanimously.

**MINUTES OF CLOSED SESSION**  
**City Council Meeting**  
**225 E. Weatherspoon Street, Sanford, NC**  
**City of Sanford – April 1, 2025**

Upon a motion duly made, seconded, and carried in the April 1, 2025, open session of the City Council meeting, Council went into closed session pursuant to with N.C.G.S. 143-318.11(a)(1), to prevent the disclosure of information that is privileged or confidential pursuant to the law of this State or the United States; (3), to consult with an attorney employed by the public body in order to preserve the attorney-client privilege; and (4), to discuss matters relating to the location or expansion of industries or other businesses in the area served by the public body. The following people were present:

Mayor Rebecca Wyhof Salmon  
 Council Member Walter Ferguson  
 Council Member Charles Taylor  
 City Manager Hal Hegwer  
 City Clerk Bonnie Bryant  
 Assistant City Manager Beth Kelly

Council Member Jean Dabbs  
 Council Member Linda Rhodes  
 Council Member James Williams  
 City Attorney Susan Patterson  
 Deputy City Clerk Vicki Cannady  
 Assistant to the City Manager Holly Marosites

**Absent:**

Mayor Pro Tem Akinosho  
 Council Member Byron Buckels

**Item #3**

- Council Member Rhodes made a motion to approve and release the Closed Session meeting minutes of August 12, 2015, Item #1. Seconded by Council Member Dabbs, the motion carried unanimously.
- Council Member Dabbs made a motion to approve and release the Closed Session meeting minutes of August 12, 2015, Item #2. Seconded by Council Member Rhodes, the motion carried unanimously.
- Council Member Taylor made a motion to approve and release the Closed Session meeting minutes of August 18, 2015, Item #1. Seconded by Council Member Williams, the motion carried unanimously.
- Council Member Rhodes made a motion to approve and release the Closed Session meeting minutes of October 27, 2015. Seconded by Council Member Williams, the motion carried unanimously.
- Council Member Taylor made a motion to approve and release the Closed Session meeting minutes of June 21, 2016, Item #1. Seconded by Council Member Ferguson, the motion carried unanimously.
- Council Member Rhodes made a motion to approve and release the Closed Session meeting minutes of June 21, 2016, Item #2. Seconded by Council Member Dabbs, the motion carried unanimously.
- Council Member Ferguson made a motion to approve and release the Closed Session meeting minutes of June 21, 2016, Item #4. Seconded by Council Member Williams, the motion carried unanimously.
- Council Member Rhodes made a motion to approve and release the Closed Session meeting minutes of June 21, 2016, Item #5. Seconded by Council Member Taylor, the motion carried unanimously.

- Council Member Taylor made a motion to approve and seal the Closed Session meeting minutes of July 7, 2015, Item #1. Seconded by Council Member Rhodes, the motion carried unanimously.
- Council Member Dabbs made a motion to approve and seal the Closed Session meeting minutes of July 7, 2015, Item #2. Seconded by Council Member Taylor, the motion carried unanimously.
- Council Member Taylor made a motion to approve and seal the Closed Session meeting minutes of July 7, 2015, Item #3. Seconded by Council Member Rhodes, the motion carried unanimously.
- Council Member Taylor made a motion to approve and seal the Closed Session meeting minutes of June 21, 2016, Item #3. Seconded by Council Member Rhodes, the motion carried unanimously.
- Council Member Williams made a motion to approve and seal the Closed Session meeting minutes of June 21, 2016, Item #7. Seconded by Council Member Rhodes, the motion carried unanimously.
- Council Member Rhodes made a motion to approve and seal the Closed Session meeting minutes of August 15, 2017, Item #1. Seconded by Council Member Dabbs, the motion carried unanimously.
- Council Member Williams made a motion to approve and seal the Closed Session meeting minutes of August 15, 2017, Item #2. Seconded by Council Member Dabbs, the motion carried unanimously.
- Council Member Rhodes made a motion to approve and seal the Closed Session meeting minutes of August 15, 2017, Item #3. Seconded by Council Member Dabbs, the motion carried unanimously.

Respectfully Submitted,

  
REBECCA WYHOF SALMON, MAYOR

Attest:

  
BONNIE BRYANT, CITY CLERK

Council Member Linda Rhodes made the motion to approve and release these minutes on Tuesday, January 6, 2026. Seconded by Council Member Mark Akinosho, the motion carried unanimously.

**MINUTES OF CLOSED SESSION**  
**City Council Workshop – August 26, 2025**  
**225 E. Weatherspoon Street, Sanford, NC**

Upon a motion duly made, seconded, and carried in the August 26, 2025, open session of the City Workshop, Council went into closed session pursuant to N.C.G.S. 143-318.11(a)(1), to prevent the disclosure of information that is privileged or confidential pursuant to the law of this State; and (5) to instruct the public body's staff or negotiating agent concerning the position to be taken by or on behalf of the public body in negotiating the price and other material terms of a contract or proposed contract for the acquisition of real property. The following people were present:

Mayor Rebecca Wyhof Salmon  
 Council Member Byron Buckels  
 Council Member Walter Ferguson  
 Council Member Charles Taylor  
 City Manager Hal Hegwer  
 City Clerk Bonnie Bryant  
 Asst. City Manager Beth Kelly

Mayor Pro Tem Mark Akinosho  
 Council Member Jean Dabbs  
 Council Member Linda Rhodes  
 Council Member James Williams  
 City Attorney Susan Patterson  
 Deputy City Clerk Vicki Cannady

**Item #2**

- Council Member Williams made a motion to approve and seal the Closed Session meeting minutes of July 24, 2018. Seconded by Council Member Rhodes, the motion carried unanimously.
- Council Member Rhodes made a motion to approve and seal the Closed Session meeting minutes of June 2, 2020, Item #1, as amended. Seconded by Mayor Pro Tem Akinosho, the motion carried unanimously.
- Mayor Pro Tem Akinosho made a motion to approve and seal the Closed Session meeting minutes of July 7, 2020. Seconded by Council Member Dabbs, the motion carried unanimously.
- Council Member Buckels made a motion to approve and seal the Closed Session meeting minutes of September 8, 2020. Seconded by Council Member Ferguson, the motion carried unanimously.
- Council Member Ferguson made a motion to approve and seal the Closed Session meeting minutes of September 15, 2020. Seconded by Council Member Buckels, the motion carried unanimously.
- Council Member Rhodes made a motion to approve and seal the Closed Session meeting minutes of October 20, 2020, Item #1. Seconded by Council Member Ferguson, the motion carried unanimously.
- Council Member Ferguson made a motion to approve and seal the Closed Session meeting minutes of October 20, 2020, Item #2. Seconded by Council Member Buckels, the motion carried unanimously.
- Mayor Pro Tem Akinosho made a motion to approve and seal the Closed Session meeting minutes of November 17, 2020. Seconded by Council Member Rhodes, the motion carried unanimously.
- Council Member Buckels made a motion to approve and seal the Closed Session meeting minutes of December 8, 2020, Item #3. Seconded by Mayor Pro Tem Akinosho, the motion carried unanimously.

- Council Member Rhodes made a motion to approve and seal the Closed Session meeting minutes of January 5, 2021, Item #3. Seconded by Mayor Pro Tem Akinosho, the motion carried unanimously.
- Mayor Pro Tem Akinosho made a motion to approve and seal the Closed Session meeting minutes of January 12, 2021. Seconded by Council Member Buckels, the motion carried unanimously.
- Council Member Ferguson made a motion to approve and seal the Closed Session meeting minutes of March 9, 2021, Item #1. Seconded by Council Member Buckels, the motion carried unanimously.
- Council Member Ferguson made a motion to approve and seal the Closed Session meeting minutes of May 25, 2021. Seconded by Council Member Williams, the motion carried unanimously.
- Mayor Pro Tem Akinosho made a motion to approve and release the Closed Session meeting minutes of January 5, 2021, Item #2. Seconded by Council Member Rhodes, the motion carried unanimously.
- Council Member Rhodes made a motion to take from the table review of the Closed Session meeting minutes of March 22, 2022, Item #1. Seconded by Council Member Ferguson, the motion carried unanimously.
  - Council Member Taylor made a motion to approve and release the Closed Session meeting minutes of March 22, 2022, Item #1. Seconded by Council Member Ferguson, the motion carried unanimously.
- Council Member Rhodes made a motion to approve and release the Closed Session meeting minutes of November 19, 2024. Seconded by Council Member Dabbs, the motion carried unanimously.

Council Member Dabbs made a motion to adjourn closed session. Seconded by Council Member Rhodes, the motion carried unanimously.

Respectfully Submitted,

  
REBECCA WYHOF SALMON, MAYOR

Attest:

  
BONNIE BRYANT, CITY CLERK

Council Member Linda Rhodes made the motion to approve and release these minutes on Tuesday, January 6, 2026. Seconded by Council Member Charles Taylor, the motion carried unanimously.

**MINUTES OF CLOSED SESSION**  
**City Council Meeting – September 2, 2025**  
**225 E. Weatherspoon Street, Sanford, NC**

Upon a motion duly made, seconded, and carried in the September 2, 2025, open session of the City Council meeting, Council went into closed session pursuant to N.C.G.S. 143-318.11(a)(1), to prevent the disclosure of information that is privileged or confidential pursuant to the law of this State or the United States; (3), to consult with an attorney employed by the public body in order to preserve the attorney-client privilege; and (4), to discuss matters relating to the location or expansion of industries or other businesses in the area served by the public body. The following people were present:

Mayor Rebecca Wyhof Salmon  
 Council Member Byron Buckels  
 Council Member Walter Ferguson  
 Council Member Charles Taylor  
 City Manager Hal Hegwer  
 City Clerk Bonnie Bryant  
 Assistant City Manager Beth Kelly

Mayor Pro Tem Mark Akinosho  
 Council Member Jean Dabbs  
 Council Member Linda Rhodes  
 Council Member James Williams  
 City Attorney Susan Patterson  
 Deputy City Clerk Vicki Cannady  
 Asst. to City Manager Holly Marosites

**Item #2**

- Council Member Williams made a motion to approve and seal the Closed Session meeting minutes of June 29, 2021, Item #5, with a minor amendment. Seconded by Council Member Taylor, the motion carried unanimously.
- Council Member Rhodes made a motion to recuse Council Member Buckels from reviewing and approving the Closed Session meeting minutes of June 29, 2021, Item #6. Seconded by Council Member Dabbs, the motion carried unanimously (and Council Member Buckels left the room).
  - Council Member Rhodes made a motion to approve and seal the Closed Session meeting minutes of June 29, 2021, Item #6. Seconded by Council Member Taylor, the motion carried unanimously. (Council Member Buckels returned to the room.)
- Council Member Rhodes made a motion to approve and seal the Closed Session meeting minutes of December 21, 2021, Item #2. Seconded by Mayor Pro Tem Akinosho, the motion carried unanimously.
- Council Member Taylor made a motion to approve and seal the Closed Session meeting minutes of March 5, 2024, Item #1. Seconded by Council Member Ferguson, the motion carried unanimously.
- Council Member Ferguson made a motion to approve and seal the Closed Session meeting minutes of March 5, 2024, Item #2. Seconded by Council Member Williams, the motion carried unanimously.
- Council Member Rhodes made a motion to approve and seal the Closed Session meeting minutes of February 11, 2025, Item #1. Seconded by Mayor Pro Tem Akinosho, the motion carried unanimously.

Mayor Salmon recessed the closed session at 5:55 p.m. and Council returned to regular session.

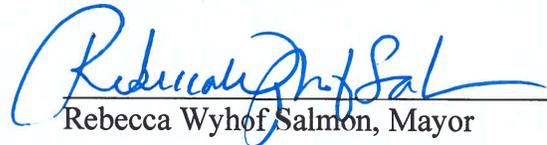
Council returned to closed session at 6:30 p.m.

- Council Member Rhodes made a motion to approve and release the Closed Session meeting minutes of August 3, 2021. Seconded by Mayor Pro Tem Akinosho, the motion carried unanimously
- Council Member Dabbs made a motion to approve and release the Closed Session meeting minutes of August 24, 2021. Seconded by Council Member Williams, the motion carried unanimously.
- Council Member Williams made a motion to approve and release the Closed Session meeting minutes of December 7, 2021. Seconded by Mayor Pro Tem Akinosho, the motion carried unanimously.
- Mayor Pro Tem Akinosho made a motion to approve and release the Closed Session meeting minutes of December 21, 2021, Item #1. Seconded by Council Member Rhodes, the motion carried unanimously.

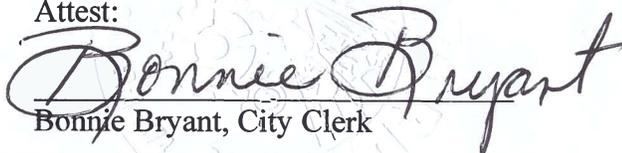
Council Member Rhodes made a motion to adjourn closed session and return to regular session. Seconded by Council Member Dabbs, the motion carried unanimously.

**ALL EXHIBITS CONTAINED HEREIN ARE HEREBY INCORPORATED BY REFERENCE AND MADE A PART OF THESE MINUTES.**

Respectfully submitted,

  
Rebecca Wyhof Salmon, Mayor

Attest:

  
Bonnie Bryant, City Clerk

Council Member Jean Dabbs made the motion to approve and release these minutes on Tuesday, January 6, 2026. Seconded by Mayor Pro Tem Byron Buckels, the motion carried unanimously.

**SPECIAL-CALLED SANFORD CITY COUNCIL  
WORK SESSION**

Wednesday, November 12, 2025  
West End Conference Room  
225 East Weatherspoon Street, Sanford, NC

The City Council held a work session on Wednesday, November 12, 2025, at 1:00 p.m. in the West End Conference Room at City Hall. The following people were present:

Mayor Pro Tem Byron Buckels	Council Member Mark Akinosho
Council Member Jean Dabbs	Council Member Walter Ferguson
Council Member Linda Rhodes	Council Member Charles Taylor
City Clerk Bonnie Bryant	City Manager Hal Hegwer
Council Member James Williams	City Attorney Susan Patterson

Absent:

Mayor Rebecca Salmon  
Council Member Charles Taylor  
Deputy City Clerk Vicki Cannady

**Call to Order**

Mayor Pro Tem Akinosho called the meeting to order.

**Utility Construction Agreement with Department of Transportation for Hillsboro Street Improvements in Pittsboro (Exhibit A)**

TriRiver Water Civil Engineer II Mary DePina explained that this project begins north of the roundabout and terminates just south of US Highway #64 Bypass in Pittsboro. The City is obligated to pay 25 percent of project costs for the improvements since utility relocations are required by the North Carolina Department of Transportation (NCDOT) for road projects. Staff is proposing betterments along Hillsboro Street, which will provide a more resilient sewer system and simplify sewer maintenance efforts (indicated on the map included in Exhibit A). Since the City is responsible for 100 percent of these betterment costs, the City's total estimated obligation is \$1,412,795.97 (including the 25 percent obligation). The bid process will be initiated next spring by NCDOT and construction will begin soon after. Consensus of Council was to place the agreement on the November 18, 2025, consent agenda.

**Little Buffalo Creek Sewer Rehabilitation Project**

• **Resolution of Tentative Award (Exhibit B)**

TriRiver Water Civil Engineer II Mary DePina explained that this is a tentative award of contract, and it is pending North Carolina Division of Water Infrastructure (NCDWI) and Local Government Commission (LGC) approval. The project is necessary to address aging infrastructure, including inflow, infiltration, sanitary sewer overflow, and backflow. There were two rounds of bidding and two bids were received from the second bidding. Consultants WithersRavenel and staff recommend awarding the project to Teraflex Group LLC with a bid of \$6,475,807.00. This project begins on Chisholm Street and includes First Street and Alcott Street. There is a future infrastructure upgrade project planned for Rose Street and Third Street. Assistant City Manager Beth Kelly explained that the project has already been set up showing additional proceeds and the loan to be paid back with State revenue funds. City Manager Hegwer explained that the project could address sewer problems, and drainage issues. Consensus of Council was to place the item on the November 18, 2025, consent agenda.

Zane Riddle, with Premier Contracting, addressed Council regarding the culvert proposed to run under Third Street, and explained that the Sanford Housing Authority will probably have to demolish a couple of houses in the Linden Heights area due to set-back issues since Buffalo Creek flows under the development and there is a large sinkhole in this area. City Manager Hal Hegwer explained that staff would meet with Dr. Threatt and Mr. Riddle following this meeting but that is not related to this project (this is a sewer rehabilitation project, not a stormwater project).

- Resolution to Accept Additional Funding for Little Buffalo Creek Sewer Rehabilitation Project (Exhibit C)

TriRiver Water Civil Engineer II Mary DePina explained that this is to accept the North Carolina Clean Water Department of Environmental Quality CWSRF loan in the amount of \$7,788,633.00. The consensus of Council was to place the resolution on the November 18, 2025, consent agenda.

Utility Construction Agreement with Department of Transportation for Roadway Improvements Near the Triangle Innovation Point Megasite (Exhibit D)

Jason Bertoncino, TriRiver Water Director of Engineering, explained that this is a NCDOT project in Moncure related to road improvements around Triangle Innovation Point which the City inherited from Chatham County. They are relocating the City's water lines located in the Chatham County system and this is a redesign portion of the contract. Staff re-evaluated the contract and decided that the original Chatham County agreement regarding betterments was somewhat aggressive and this redesign will serve the City financially in the future. Council consensus was to place this resolution on the November 18, 2025, consent agenda.

Ordinance Directing the Code Enforcement Supervisor to Demolish the Abandoned Buildings or Structures Located at 1724 Carr Creek Drive, Sanford, North Carolina, and Award to Harpo's, LLC, of 590 Brooks Mangum Road, Cameron, North Carolina, the Amount of \$32,900 for Demolition of the Structures, Removal of Debris and Grading and Seeding (Exhibit E)

Community Development Director Marshall Downey explained that this ordinance, as well as the demolition contract, will be on the November 18, 2025, Council agenda as a public hearing. Code Enforcement Officer Joseph Cox explained that there have been numerous attempts to communicate with the homeowner but he has not responded; however, his wife communicated with staff confirming that the owner received written communication and is choosing not to respond. This issue has been ongoing for some time, with complaints of vagrants living on the property and rodents. The homes are in a state of disrepair and unfit for human habitation. Attorney Susan Patterson explained that staff is not using the Minimum Housing Code to effectuate demolition of seven homes; they are using the Unsafe Building Statute since these structures are potential fire hazards and unsafe to anyone accessing the property.

Easement Between Duke Energy and City of Sanford at 1009 Garden Street (Exhibit F)

Jason Bertoncino, TriRiver Water Director of Engineering, explained that this request from Duke Energy is for an easement that crosses the City's Wastewater Booster Pump Station as shown on the map included in Exhibit F.

Updates on Sidewalks Along Woodland Avenue and Fields Drive (Exhibit G)

Long-Range Planning Administrator David Montgomery informed Council that the Buzzline was officially launched today and has had six pickups. Some funding is available from the NC Toll Credit program to facilitate projects moving forward. Federal law permits toll facilities (toll roads, bridges, tunnels, ferries that serve a link for public movement) to earn credits that can be applied towards non-

federal share requirements on Federal aid projects. Credits are rewarded to states for spending toll revenue on projects that would otherwise require federal support and they can be applied to any federal aid transportation project; they are not limited to areas with toll facilities. NCDOT has created a new pilot program using toll credit funds, basically designed to minimize project delivery delays due to funding restraints. If selected, credits will only be used for matches on increases and not the entire project. The application window opened this spring for a total of \$10 million. Staff felt that there are two projects that are far enough in design to provide good estimates for the application: the Woodland Avenue and Fields Drive sidewalk projects. The City was notified in late summer that we were going to receive toll credits on both projects and staff has met with NCDOT. The Woodland Avenue project match will be \$144,000 and the Fields Drive project will be \$183,000, which will save the City approximately \$1,000,000 since NCDOT is using the original match amount.

North Carolina Housing Finance Agency- 2026 Urgent Repair Program

- URP2636 Funding Agreement (Exhibit H)

Community Development Administrator Karen Kennedy explained that the Funding Agreement sets forth perimeters, requirements, and time of performance; funding disbursement; deposit of funds; bond requirements; and program management guidelines. Once the document is approved Council, she will request signatures by City Manager Hal Hegwer and City Clerk Bonnie Bryant and returning to the North Carolina Housing Finance Agency via DocuSign.

- Ordinance Amending the Annual Operating Budget of the City of Sanford FY2024-2025 Urgent Repair Program Local Match (Exhibit I)

This grant does not require a local match; however, both the City and Lee County have contributed funds to assist with the competitive nature of the application process. This year, the City and County are each providing \$7,500, creating a \$15,000 local match.

- Grant Project Ordinance- NC Housing Finance Agency- URP2636 (Exhibit J)

The project ordinance designates the amount for the project of \$165,000: \$150,000 from the NC Housing Finance Agency, and \$7,500 from both the City and County. The goal is to repair ten to twelve houses and the additional funding often allows staff to add funding for additional repairs to each home.

Policies for NC Housing Finance Agency 2026 Urgent Repair Program

- Assistance Policy (Exhibit K)

This document is mailed to everyone interested in applying for the program. Staff will send the application packages out in late January 2026, giving everyone time to apply. The applicants already on the waiting list (from the 2025 program) will be the first to receive them. Staff will also advertise the program on the City’s website and local TV channels. It defines the special needs category and is defined by support services. The policy reminds individuals that this is an unsecured, deferred, interest-free loan, forgiven at a rate of \$5,000 per year until there is no balance. Staff does not record promissory notes at the Register of Deeds, but applicants have contractual requirements not to sell or transfer the house within a certain number of years. It also includes steps for selecting contractors, pre-construction conferences, change-order payments, and warranty period (one year after the final inspection) to report any issues. After one year, the applicant must contact a contractor on their own.

- Procurement and Disbursement Policy (Exhibit L)

The Procurement Policy, which must be submitted to the State for approval, addresses program eligibility; income limits for each household (based on the number in the household); marketing responsibility; and selection processes. There were some policy changes this year to address situations

where a contractor who was awarded the bid does not perform satisfactorily by the December 31 deadline. In those cases, Preserving Home has authority to void the contract and hire sub-contractors to complete the work.

- Agreement for Services with Central Pines Regional Council for NC Housing Finance Agency 2026 Urgent Repair Program (Exhibit M)  
Central Pines Regional Council will be the responsible for administering this program.

Agreement for Services with Bread of Life Ministries of Sanford, Inc. to Provide Extreme Cold Weather Shelter Services for 2025-2026 (Exhibit N)

Mrs. Kennedy explained that she has communicated with the City's Finance Department staff to determine the remaining balance for the Cold Weather Shelter project, and the agreement will allow a not-to-exceed fee of \$35,000.

**Other Business**

There was no other business.

**Closed Session**

Council Member Rhodes made a motion to go into closed session in accordance with N.C.G.S. 143-318.11(a)(1), to prevent the disclosure of information that is privileged or confidential pursuant to the law of this State or the United States or not considered a public record within the meaning of Chapter 132 of the General Statutes; (4) to discuss matters relating to the location or expansion of industries or other businesses in the area; and (5) to instruct the public body's staff or negotiating agents concerning the position to be taken by or on behalf of the public body in negotiating the price and other material terms of a contract or proposed contract for the acquisition of real property. Seconded by Council Member Buckels, the motion carried unanimously.

**Return to Regular Session and Adjournment**

Council Member Rhodes made a motion to adjourn the meeting. Seconded by Council Member Dabbs, the motion carried unanimously.

**ALL EXHIBITS CONTAINED HEREIN ARE HEREBY INCORPORATED BY REFERENCE AND MADE A PART OF THESE MINUTES.**

Respectfully Submitted,

---

Rebecca Wyhof Salmon, Mayor

Attest:

---

Bonnie Bryant, City Clerk

**MINUTES OF MEETING OF THE  
CITY COUNCIL  
SANFORD, NORTH CAROLINA**

The City Council met at the Sanford Municipal Center, 225 E. Weatherspoon Street, on Tuesday, December 2, 2025, at 5:00 p.m., in Council Chambers. The following people were present:

Mayor Rebecca Wyhof Salmon  
Council Member Byron Buckels  
Council Member Walter Ferguson  
Council Member Linda Rhodes  
City Manager Hal Hegwer  
City Clerk Bonnie Bryant

Mayor Pro Tem Mark Akinosho  
Council Member Jean Dabbs  
Council Member Christopher Petty  
Council Member Charles Taylor  
City Attorney Susan Patterson  
Deputy City Clerk Vicki Cannady

**ORGANIZATIONAL SESSION**

**OATHS OF OFFICE**

Mayor Salmon welcomed everyone to the meeting, and introduced North Carolina House Representative Robert T. Reives, II, who administered the oath of office to her as returning Mayor. Lee County Clerk of Court Susie K. Thomas administered the oath of office to returning Council Member Mark Akinosho (Ward 1). Representative Reives administered the oath of office to newly elected Council Member Christopher Petty (Ward 3), and Mayor Salmon administered the oath of office to returning Council Member Linda Rhodes (At-Large).

**CALL TO ORDER**

Mayor Salmon called the meeting to order. Dr. Alice Hooker, Pastor of the Works for Christ Christian Center, led the invocation, and the Pledge of Allegiance was recited.

**COUNCIL APPOINTMENT OF MAYOR PRO TEMPORE**

Council Member Ferguson nominated Council Member Rhodes to serve as Mayor Pro Tem. Council Member Taylor nominated Council Member Buckels. Council Member Ferguson made a motion to close the nominations; seconded by Council Member Petty, the motion carried unanimously. Council Member Rhodes received three votes (Council Members Ferguson, Petty, and Rhodes) and Council Member Buckels received four votes (Council Members Akinosho, Buckels, Dabbs, and Taylor). By a vote of four to three, Council Member Buckels was appointed to serve as Mayor Pro Tem.

**PUBLIC COMMENT (Exhibit A)**

Stan Sawicki, 470 Crusaders Drive, spoke about a local small business, which may be advertising and practicing witchcraft. He noted that this business was advertised as a yoga, “kundalini” experience. Mr. Sawicki referenced two words from this advertisement (witches and kundalini), which he described as “very dark.” He explained that his daughter was involved in “Kundalini” and although she is no longer involved, she continues to deal with issues of depression etc., which he attributes to the former involvement with “Kundalini.” Mr. Sawicki asked Council to investigate this issue before innocent children become involved in this darkness.

Sheila Shorrick, 30 Lazy Waters Lane, Sanford, North Carolina; Matt Clark, 162 Deerview, Sanford, North Carolina; Keely Puricz, of 363 Angel Road, Sanford, North Carolina; Stephanie Stephens, of 618 Eagle Road, Greensboro, North Carolina; Stephanie Gans, P.O. Box 69, Star, North Carolina; John Wagner, 210 Jess Lane, Pittsboro, North Carolina; Sam Kauffman, 628 N. Main Street, Sanford, North Carolina, and Michelle Clark, 162 Deer View, Sanford, North Carolina, all spoke in opposition of a

potential data center facility and fracking in the Deep River area, referencing issues of pollution, noise, water and air quality, harmful chemicals (carcinogenic agents), low percentage of local citizen-employment, investment risks, such as an “AI-Bubble,” and the need for proper geological and archology surveying. They requested a moratorium on fracking. A recent article regarding data centers was submitted by Keely Puricz, which is included in Exhibit A.

### **APPROVAL OF AGENDA**

Council Member Rhodes made a motion to approve the agenda. Seconded by Mayor Pro Tem Buckels, the motion carried unanimously.

### **CONSENT AGENDA**

City Council Minutes dated November 18, 2025 (Filed in Minute Book #130)

#### **Ordinance Amending the Annual Operating Budget for FY 2025-2026 – Various Departments (Exhibit B)**

Council Member Dabbs made a motion to approve the consent agenda. Seconded by Council Member Akinosho, the motion carried unanimously.

### **SPECIAL AGENDA**

There were no items on the special agenda.

### **REGULAR AGENDA**

There were no items on the regular agenda.

### **NEW BUSINESS**

#### **Ordinance Amending the Annual Operating Budget for FY 2025-2026 – Hillsboro Street DOT Betterments (Exhibit C)**

Assistant City Manager Beth Kelly explained that this ordinance appropriates funds for the Capital Project for the Hillsboro North Carolina Department of Transportation Betterments.

Mayor Pro Tem Buckels made a motion to approve the Ordinance Amending the Annual Operating Budget for FY 2025-2026. Seconded by Council Member Rhodes, the motion carried unanimously.

#### **Capital Project Ordinance – Hillsboro Street Betterment Project with DOT R-5724B (Exhibit D)**

Assistant City Manager Beth Kelly explained that this ordinance establishes and appropriates funds for the Capital project.

Council Member Ferguson made a motion to approve the Capital Project Ordinance – Hillsboro Street Betterment Project with DOT R-5724B. Seconded by Council Member Rhodes, the motion carried unanimously.

#### **Ordinance Amending the Annual Operating Budget for FY 2025-2026 – Little Buffalo Creek Sewer Rehab Project A (Exhibit E)**

Assistant City Manager Beth Kelly explained that this ordinance appropriates funds for the Little Buffalo Creek Stream Restoration Capital Project Loan Funding Fee of \$78,873 and appropriates the balance of the SRF Loan Proceeds in the amount of \$3,943,633. This loan was approved by the Local Government Commission (LGC) at its 1:30 p.m. meeting today.

Mayor Pro Tem Buckels made a motion to approve the Ordinance Amending the Annual Operating Budget for FY 2025-2026 – Little Buffalo Creek Sewer Rehab Project A. Seconded by Council Member Akinosho, the motion carried unanimously.

Capital Project Ordinance Amendment – Sewer Remediation Project A (Exhibit F)

Assistant City Manager Beth Kelly explained that this ordinance establishes the project.

Council Member Rhodes made a motion to approve the Capital Project Ordinance Amendment – Sewer Remediation Project A. Seconded by Council Member Dabbs, the motion carried unanimously.

Grant Project Ordinance Amendment – Little Buffalo Creek Stream Restoration (Exhibit G)

Assistant City Manager Beth Kelly explained that this Grant Project Ordinance Amendment is a cleanup amendment related to the Little Buffalo Creek Stream Restoration; it is appropriating the bond issuance cost related to the project. Council approved the contracts related to this project at a previous meeting, contingent upon receiving the closing documents and the funds for the bond issuance.

Mayor Pro Tem Buckels made a motion to approve the Grant Project Ordinance Amendment – Little Buffalo Creek Stream Restoration. Seconded by Council Member Taylor, the motion carried unanimously.

Ordinance Amending the Annual Operating Budget for FY 2025-2026 – Risk and Resiliency Assessment EPA Report (Exhibit H)

Assistant City Manager Beth Kelly explained that this ordinance appropriates funds for the required study and allocates \$450,000 across various cost centers, coming from the fund balances of each (Sanford, Pittsboro, Siler City, and Chatham County).

Council Member Rhodes made a motion to approve the Ordinance Amending the Annual Operating Budget for FY 2025-2026 – Risk and Resiliency Assessment EPA Report. Seconded by Council Member Akinosho, the motion carried unanimously.

Appointments to the Sanford Affordable Housing Development Corporation (SAHDC)

Council Member Dabbs made the motion to recuse Mayor Salmon, Council Member Petty and Mayor Pro Tem Buckels from voting on the appointments since they are members of the SAHDC. Council Member Dabbs made a motion to appoint Council Member Akinosho to serve temporarily as Mayor Pro Tem for this item. Seconded by Council Member Taylor, the motion carried unanimously. Acting Mayor Pro Tem Akinosho called for a vote on the motion of recusal. Council Member Taylor seconded the motion made by Council Member Dabbs to recuse Mayor Salmon, Council Member Petty and Mayor Pro Tem Buckels from voting. The motion carried by a unanimous vote of four voting members (Council Members Taylor, Ferguson, Dabbs and Rhodes).

City Attorney Susan Patterson explained that the SAHDC board is a five-member board, consisting of the Mayor, the City Council Member whose ward includes 152 S. Steele Street, an additional City Council Member, and two at-large members who are residents of the City of Sanford. The appointments for consideration are Mayor Salmon and Council Member Petty because they serve by virtue of the office they hold. Council Member Taylor made a motion to appoint Mayor Salmon and Council Member Petty to serve on the SAHDC board. Seconded by Council Member Ferguson, the motion carried unanimously.

**DECISIONS ON PUBLIC HEARINGS**

Application by Peak Engineering & Design, LLC, to rezone 22.86 acres +/- comprised of two vacant tracts of land; specifically, one vacant 19.89 acre +/- tract of land with frontage on Colon Road (SR 1415) and one vacant 2.97 acre +/- tract of land accessed via Tabitha Lane, a private road off of Colon Road. The subject property is separated by a narrow strip of land approximately 61ft in width and is therefore not adjoining. It is identified as Lee County Tax Parcels 9655-20-9076-00 and 9655-30-3626-00 as depicted on Tax Map 9655.03 and 9654.01. The applicant is asking to rezone both parcels from Residential

Agricultural (RA) to Light Industrial (LI) to allow the development of the site in an industrial manner; the application specifically notes “techflex and non-residential uses.” (Exhibit I)

Senior Planner Amy McNeill reminded everyone that the Planning Board met following the public hearing on this proposed development on November 18, 2025, and recommended by a four to one vote that Council approve the rezoning request as described in Exhibit I. There was concern of possible negative impacts related to the noise and traffic that future Light Industrial development could have on residents in this area. In making this decision, the Planning Board determined that the request is not consistent with the *Plan SanLee Long-Range-Plan* designation of Suburban Neighborhood and Countryside because industrial zoning and land uses do not preserve Lee County’s agricultural heritage and do not support conservation maintenance of a rural lifestyle. They also determined that the request is reasonable and in the public interest to allow industrial development at this location, given that there are existing lots adjoining this property that are zoned Heavy Industrial (HI) with industrial type development. Topics of discussion included the site being in a watershed conservation overlay district; therefore, the maximum allowed build-upon area must comply with the local watershed regulations. The site is surrounded by heavy industrial and residential/agricultural zoning and Light Industrial Zoning seems to be a transition between these two zoning districts.

- Statement on Long-Range Land Use Plan Consistency as it Relates to this Zoning Map Amendment

Council Member Rhodes made a motion that the proposed zoning map amendment is not consistent with the *Plan SanLee Long-Range-Plan* designation of Suburban Neighborhood and/or Countryside because industrial zoning and land uses do not preserve the Lee County’s agricultural heritage and do not support conservation and maintenance of a rural lifestyle. Seconded by Council Member Akinosho, the motion carried unanimously.

- Ordinance Amending the Official Zoning Map Amendment of the City of Sanford, NC (Exhibit J)

Council Member Rhodes made a motion to approve the proposed zoning map amendment to rezone 22.86+/- acres off of Colon Road and Tabitha Lane from Residential Agricultural (RA) to Light Industrial (LI) because it is reasonable and in the public interest to allow industrial development at this location given that there are existing adjoining lots zoned Heavy Industrial (HI) with industrial type development. Seconded by Council Member Dabbs, the motion carried unanimously.

Application by LJA Engineering to rezone 32.6 acres +/- with frontage on S. NC 87 Hwy to the General Commercial Conditional Zoning District (C-2-C) to allow the development of a commercial center with two large retail buildings and five outparcels via the site plan/subdivision plan conditional rezoning process. The subject property includes all of a 31.6-acre tract of land zoned Suburban Neighborhood (SN-9), developed with an open-air produce stand and two houses addressed as 3350 & 3356 S. NC 87 Hwy and a 1.083-acre portion of an adjoining 20.19-acre tract of land zoned Adams Village Conditional Zoning District, developed with a house addressed as 108 Harvey Faulk Road. The subject property is located on the west side of S. NC 87 Hwy between the Walmart Supercenter at 3310 S. NC 87 Hwy and TAZ Auto Group at 3590 S. NC 87 Hwy and is identified as Lee County Tax Parcels 9661-15-5160-00 and 9661-14-9176-00 (portion of) as depicted on Tax Maps 9661.01 and 9661.03. (Exhibit K)

Senior Planner Amy McNeill reminded everyone that the Planning Board met following the public hearing on this application held on November 18, 2025, and recommended unanimously that the rezoning request be approved. The Planning Board determined that the request is consistent with the *Plan SanLee* land use designation of Commercial Corridor because this place type allows commercial development that includes regional retail, personal services, entertainment, and wholesale goods in this proposed land uses. They also determined that it is reasonable and in the public interest since the adopted long-range plan is

supportive of the land uses, the site is along a busy main roadway and has access to public water. Topics of discussion included: there was no opposition at the public hearing and the configuration of the proposed shopping center is similar to the Walmart site nearby in that the development on the outparcels out front will create screening with a visual break for the proposed large parking area.

- Statement on Long-Range Land Use Plan Consistency as it Relates to this Zoning Map Amendment  
Mayor Pro Tem Buckels made a motion that the proposed zoning map amendment is consistent with the *Plan SanLee Long Range Plan* designation of Commercial Corridor because this place type allows commercial development that includes regional retail, personal services, entertainment, and wholesale foods as proposed land uses. Seconded by Council Member Ferguson, the motion carried unanimously.
- Consider Ordinance Amending the Official Zoning Map of the City of Sanford, NC (Exhibit L)  
Council Member Rhodes made a motion to approve the proposed Zoning Map amendment because it is reasonable and in the public interest since the adopted long-range plan is supportive of the land uses. the site is along a busy main roadway and has access to public water. Seconded by Council Member Dabbs, the motion carried unanimously.

### **CASES FOR PUBLIC HEARING**

#### **Public Hearing on Municipal Service District Expenditures (Exhibit M)**

Mayor Salmon opened the public hearing.

Assistant City Manager Beth Kelly reviewed the Municipal District expenditures as shown on Exhibit M.

With no other speakers, Mayor Salmon closed the public hearing.

Council Member Dabbs made a motion to approve the Municipal Service District expenditures. Seconded by Council Member Ferguson, the motion carried unanimously.

### **OTHER BUSINESS**

Mayor Pro Tem Buckels thanked everyone for the opportunity to serve as Mayor Pro Tem. City Council members welcomed new Council Member Chris Petty and congratulated returning members. They congratulated newly appointed Mayor Pro Tem Buckels and thanked prior Mayor Pro Tem Akinosho for his service. Council Member Petty thanked everyone for their support.

### **ADJOURNMENT**

Council Member Rhodes made a motion to adjourn the meeting. Seconded by Council Member Petty, the motion carried unanimously.

**ALL EXHIBITS CONTAINED HEREIN ARE HEREBY INCORPORATED BY REFERENCE AND MADE A PART OF THESE MINUTES.**

Attest:

Respectfully Submitted,

\_\_\_\_\_  
BONNIE BRYANT, CITY CLERK

\_\_\_\_\_  
REBECCA WYHOF SALMON, MAYOR

## SANFORD CITY COUNCIL WORK SESSION

Tuesday, December 9, 2025

West End Conference Room

225 East Weatherspoon Street, Sanford, NC

The City Council held a work session on Tuesday, December 9, 2025, at 1:00 p.m. in the West End Conference Room at City Hall. The following people were present:

Mayor Pro Tem Byron Buckels  
 Council Member Jean Dabbs  
 Council Member Christopher Petty  
 Council Member Charles Taylor  
 City Attorney Susan Patterson  
 Deputy City Clerk Vicki Cannady

Council Member Mark Akinosho  
 Council Member Walter Ferguson  
 Council Member Linda Rhodes  
 City Manager Hal Hegwer  
 City Clerk Bonnie Bryant

Absent:

Mayor Rebecca Wyhof Salmon

### Call to Order

Mayor Pro Tem Buckels called the meeting to order and welcomed everyone.

### Presentation by Design Dimensions for Signage and Display Options at the Pilgrim's Sanford Agricultural Marketplace (Exhibit A)

Public Works Director Fedd Walker gave an update on the progress of the Pilgrim's Sanford Agricultural Center (PSAM), which is projected to be finished in March 2026. Betsy Roscoe and Matty Shepherd with "designdimension" reviewed the color palette of the proposed interior and exterior signage displays and presented two options for the logo (brand); a Harvest Sunrise design and a design focused on a farm tractor. Ms. Roscoe confirmed that the current plans include incorporating the reclaimed wood paneling (taken from the King Roofing building) below the chair rail on the building interior. They will also use historical Lee County photos, such as the tobacco market in a backdrop setting. Council members expressed that they would like to have "Sanford, North Carolina" incorporated in the signage, as a distinct designation of PSAM. Ms. Roscoe explained that they will come back before Council with a final plan that will also include cost estimates.

### Next Steps for Disposal of City-Owned Vacant House at 115 North First Street

Public Works Director Fedd Walker reminded Council that the vacant house at 115 North First Street is in the main corridor of the Sanford Central Green, and March 2026 is the projected completion date for the Pilgrim's Sanford Agricultural Marketplace. Staff advertised the house in July 2025 and there was no interest. It was re-advertised and there was some interest but nothing materialized from conversations he had. A gentleman contacted him about purchasing the house but he wanted the City to pay to move it, install a new foundation once it was moved, and pay for utility connections. If this wasn't possible, he asked to salvage some items from the structure. City Attorney Susan Patterson recommended against this because of liability issues from removing items. Mr. Walker explained that he had obtained a quote of \$15,000 for demolition and offered an option to re-advertise on GovDeals. Consensus of Council was to move forward with the contract to demolish the structure in the amount of \$15,000. City Manager Hal Hegwer explained that there will be a budget amendment on the December 16, 2025, agenda to appropriate funds for this contract.

**Presentation of Final Lee County Safety Action Plan Draft (Exhibit B)**

Long-Range Planner David Montgomery reviewed elements of the Lee County Safety Action Plan and provided historical information, as well as safety strategies to reduce fatal or serious accidents in Lee County. He explained that following public workshops, Council review and editing, consultants presented staff with a final draft (Exhibit B). This draft has been on the City’s website for review and staff has not received any public comments. The final draft was presented to the Lee County Commissioners last week and will be presented to the Town of Broadway on Monday, December 15, 2025. Mr. Montgomery explained that he would like to include a resolution on the December 16, 2025, agenda. Consensus of Council was to place the resolution to approve the Lee County Safety Action Plan on the consent agenda.

**Update on Buzzline Ridership Statistics (Exhibit C)**

Long-Range Planner David Montgomery provided an update on the Buzzline Ridership Program as described in Exhibit C. Since November 12, 2025, Buzzline has had 615 rides, averaging 37 rides per day during the week. The top uses were for employment, medical, and shopping; the top destinations were Walmart, Coremark, Bear Creek Arsenal, CCCC, and Food Lion. He also summarized data concerning the Lee County COLT’s program as described in Exhibit C. Mr. Montgomery noted that staff is very pleased with these statistics and explained there will be a Micro-Transit Advisory Board meeting in January to review the program and identify areas that need to be modified.

A ten-minute recess was taken at 2:25 p.m. and the meeting was reconvened at 2:35 p.m.

**Addition of Exhibits to the Memorandum of Understanding with Lee County and COLTS for Microtransit (Exhibit D)**

City Attorney Susan Patterson explained that when the Memorandum of Understanding between the City of Sanford, Lee County and the Lee County Transit System (COLTS) was passed in May 2025, Exhibits A and B were not complete. Two items are being added to the contract: the Transit Zone boundary zone (Exhibit A) and a summary of the days of operation, rider fares, hourly rates for COLTS, and special terms or conditions for rate changes (Exhibit B). Rates are subject to a 30-day update dependent on zone changes and demand. She explained that this update requires City Council approval and it will be included on the consent agenda at the December 16, 2025, Council meeting.

**Memorandum of Understanding with Lee County re: Contract for Administration of Grant for Water and Sewer Construction for the Washington Avenue Project (Exhibit E)**

City Attorney Susan Patterson explained that Brick Capital Community Development Corporation (BCCDC) is developing single-family and multi-family housing for low-to-moderate income persons by means of a Community Development Block Grant (CDBG). The City is contributing \$850,000 and Lee County has also agreed to contribute \$850,000. The County is asking for an agreement that their \$850,000 contribution will be spent only on water and sewer. The City will invoice the County as we spend their contribution. Attorney Patterson said that she could not guarantee that there are no loop-holes in this contract; however, she can confirm that it is designed for the County’s confidence not to spend money on streets and sidewalks and limit their contribution to water and sewer expenses only. She noted that the City Finance Department is comfortable with the reimbursement arrangement and the Public Works Department has confirmed that the water and sewer costs will exceed \$850,000. Assistant City Manager Beth Kelly explained that since utility costs are expected to exceed the \$850,000 contribution from Lee County, it will have no negative effect on the City. Finance staff will ensure that all payments from Lee County contributions are utility related. City Manager Hal Hegwer noted that this will be on the consent agenda at the December 16, 2025, Council meeting.

**Quarterly Financials (Exhibit F)**

Assistant City Manager Beth Kelly reviewed the Quarterly Budget Report, ending September 30. The June 30, 2025, audit should be completed soon and the auditors will present it to Council. The City is in the process of converting budget software for this year, and once it has been critiqued, Council should be able to log in to review a summary of revenue and expenditures.

**Other Business**

Public Works Director Fedd Walker explained that during the Thanksgiving Holiday, several leaves fell at once. Staff has contracted a trailer to help with route leaf collections and they are getting back on track.

**Closed Session**

Council Member Petty made a motion to go into closed session in accordance with N.C.G.S. 143-318.11(a)(3) and (4), to consult with an attorney employed or retained by the public body in order to preserve the attorney-client privilege, and to discuss matters relating to the location or expansion of industries or other businesses in the area served by the public body. Seconded by Council Member Dabbs, the motion carried unanimously.

**Return to Regular Session and Adjournment**

Council Member Dabbs made a motion to adjourn the meeting. Seconded by Council Member Taylor, the motion carried unanimously.

**ALL EXHIBITS CONTAINED HEREIN ARE HEREBY INCORPORATED BY REFERENCE AND MADE A PART OF THESE MINUTES.**

Respectfully Submitted,

\_\_\_\_\_  
Rebecca Wyhof Salmon, Mayor

Attest:

\_\_\_\_\_  
Bonnie Bryant, City Clerk

**MINUTES OF MEETING OF THE  
CITY COUNCIL  
SANFORD, NORTH CAROLINA**

The City Council met at the Sanford Municipal Center, 225 E. Weatherspoon Street, on Tuesday, December 16, 2025, at 5:00 p.m., in Council Chambers. The following people were present:

Mayor Rebecca Wyhof Salmon  
Council Member Mark Akinosho  
Council Member Walter Ferguson  
Council Member Linda Rhodes  
City Manager Hal Hegwer  
City Clerk Bonnie Bryant

Mayor Pro Tem Byron Buckels  
Council Member Jean Dabbs  
Council Member Christopher Petty  
Council Member Charles Taylor  
City Attorney Susan Patterson  
Deputy City Clerk Vicki Cannady

**CALL TO ORDER**

Mayor Salmon called the meeting to order. Council Member Akinosho led the invocation and the Pledge of Allegiance was recited.

**APPROVAL OF AGENDA**

Council Member Rhodes made a motion to approve the agenda. Seconded by Council Member Petty, the motion carried unanimously.

**CONSENT AGENDA**

Grant Project Ordinance – Micro-Transit Program (Exhibit A)

Resolution Adopting the Lee County Safety Action Plan and Establishing a Commitment to a 50 Percent Reduction in the Rate of Fatal and Serious Injury Crashes by 2040 (Exhibit B)

Addition of Exhibits A and B to Memorandum of Understanding Between the City of Sanford and the County of Lee and the County of Lee Transit System (Exhibit C)

Contract for Administration of Grant for Water and Sewer Construction for the Washington Avenue Project Between Lee County and the City of Sanford (Exhibit D)

Ordinance Amending the Annual Operating Budget FY 2025-2026 – Public Building (Exhibit E)

Ordinance Amending the Annual Operating Budget FY 2025-2026 – Siler City Sewer Rehab Project (Exhibit F)

Capital Project Ordinance Amendment – Siler City Sewer Rehabilitation (Exhibit G)

Council Member Ferguson made a motion to approve the consent agenda. Seconded by Council Member Dabbs, the motion carried unanimously.

**SPECIAL AGENDA**

There were no items on the special agenda.

**REGULAR AGENDA**

There were no items on the regular agenda.

## **NEW BUSINESS**

### **Petition Requesting Contiguous Annexation by GOT DIRT, LLC**

Long-Range Planning Administrator David Montgomery explained that this petition for contiguous annexation was received on October 30, 2025, and since they are in the ETJ (extra-territorial jurisdiction), they do not require rezoning, only annexation. He suggested that the public hearing be set for January 6, 2026, at 6:00 p.m.

- **Resolution Directing the Clerk to Investigate a Petition for Contiguous Annexation Under G.S. 160A-31 (Exhibit H)**  
Council Member Rhodes made a motion to approve the Resolution Directing the City Clerk to Investigate a Petition for Contiguous Annexation Under G.S. 160A-31. Seconded by Council Member Petty, the motion carried unanimously.
- **Receive the Certificate of Sufficiency (Exhibit I)**  
City Clerk Bonnie Bryant confirmed that the petition was sufficient.
- **Resolution Fixing Date of Public Hearing on Question of Contiguous Annexation Pursuant to G.S. 160A-58.1 (Exhibit J)**  
Mayor Pro Tem Buckels made a motion to approve the Resolution Fixing the Date of the Public Hearing on the Question of Contiguous Annexation Pursuant to G.S. 160A-31 for January 6, 2026, at 6:00 p.m. Seconded by Council Member Dabbs, the motion carried unanimously.

### **Petition Requesting Contiguous Annexation by Adams Village, LLC (Exhibit K)**

Long-Range Planning Administrator David Montgomery explained that this petition for contiguous annexation was received on October 14, 2025. City Council recently rezoned the property, which is located within the City's ETJ (extra-territorial jurisdiction); therefore, this request is only for contiguous annexation. He suggested that the public hearing be set for January 6, 2026, at 6:00 p.m.

- **Resolution Directing the Clerk to Investigate a Petition for Contiguous Annexation Under G.S. 160A-31 (Exhibit K)**  
Council Member Rhodes made a motion to approve the Resolution Directing the City Clerk to Investigate a Petition for Contiguous Annexation Under G.S. 160A-31. Seconded by Council Member Akinosho, the motion carried unanimously.
- **Receive the Certificate of Sufficiency (Exhibit L)**  
City Clerk Bonnie Bryant confirmed that the petition was sufficient.
- **Resolution Fixing Date of Public Hearing on Question of Contiguous Annexation Pursuant to G.S. 160A-31 (Exhibit M)**  
Mayor Pro Tem Buckels made a motion to approve the Resolution Fixing the Date of the Public Hearing on the Question of Contiguous Annexation Pursuant to G.S. 160A-31 for January 6, 2026, at 6:00 p.m. Seconded by Council Member Rhodes, the motion carried unanimously.

### **Easement between City of Sanford and Duke Energy Progress, LLC (Exhibit N)**

Paul Weeks, Executive Director of Utilities for TriRiver Water, explained that this is a four-year easement at the City's Shagg Creek Lift Station located on Corinth Road as described in Exhibit N. Duke Energy Progress, LLC, wants to run power lines underground to increase reliability for their customers in

this area. This easement agreement has been reviewed by Parker Poe Attorneys, as well as staff, and they recommended approval.

Mayor Pro Tem Buckels made a motion to approve the Easement between the City of Sanford and Duke Energy Progress, LLC. Seconded by Council Member Akinosho, the motion carried unanimously.

### **DECISIONS ON PUBLIC HEARINGS**

There were no decisions on public hearings.

### **CLOSED SESSION**

Council Member Rhodes made a motion to go into closed session in accordance with N.C.G.S. 143-318.11(a)(1), to prevent the disclosure of information that is privileged or confidential pursuant to the law of this State or the United States; and (3), to consult with an attorney employed or retained by the public body in order to preserve the attorney-client privilege. Seconded by Council Member Dabbs, the motion carried unanimously.

### **RETURN TO REGULAR SESSION**

Council returned to regular session and Mayor Salmon reconvened the meeting at 6:00 p.m.

### **CASE FOR PUBLIC HEARING (held jointly with the Planning Board at 6:00 p.m.)**

#### **ZONING MAP AMENDMENT / REZONING APPLICATION: CASE 2025-1201**

Application by CASTO-CCM Sanford Owner, LLC, to rezone 44.78 acres +/- comprised of Riverbirch Corner shopping center at 1015-1133 Spring Lane, one outparcel at 1135 Spring Lane, and two adjoining vacant parcels from General Commercial (C-2) and Office & Institutional (O&I) to General Commercial Conditional Zoning District (C-2-C) to allow the redevelopment of a shopping center with its own unique signage and landscaping standards. The subject property is identified as Lee County Tax Parcels 9643-01-0668-00, 9633-92-8481-00, 9643-02-3208-00 and 9643-00-5683-00 as depicted on Tax Maps 9643.03 and 9633.04. (Exhibit O)

Mayor Salmon opened the public hearing.

Senior Planner Amy McNeill explained that CASTO filed this application to rezone to Conditional Zoning and reviewed specific conditions proposed as shown on the attached Exhibit O, which include the following:

- The development standards for all signage will comply with the Riverbirch Common Sign Plan included with the rezoning application, as opposed to the UDO (Unified Development Standards).
- Landscape buffers will not be required along the internal property lines. The rationale is that the shopping center property will have multiple lots, so the removal of interior landscape buffers will allow the project to operate as a unified center.
- Street yard plantings along Spring Lane will be modified to accommodate existing site improvements, floodplain areas, and utility easements. The street yard plantings will be relocated along Spring Lane frontage to accommodate the existing curb line of the outparcel formerly developed as a bank (addressed as 1135 Spring Lane). If Duke allows plantings within the existing power easement, plantings will comply with Duke requirements, as opposed to the UDO standards.

A neighborhood meeting was held on Thursday, December 4, 2025, with six members of the public in attendance. Topics of discussion included: project timing (start date March 2026, completion date October 2027); clarification regarding which existing buildings will remain on site; and access to Elizabeth's Pizza during construction (access will be maintained with work on the main driveway anticipated to be completed one side at a time, like a highway project.) The applicant agreed to continue coordination with the Elizabeth's Pizza representative as the details of the logistics develop and multi-

family will not be a component of the shopping center redevelopment, which has been verified by the applicant. Our adopted land use plan designates this parcel as Mixed Use Activity Center, and Riverbirch Shopping Center aligns with this description.

Applicant representative Chris Grimes, with CASTO (215 E. Chatham Street, Cary), stated that his company was excited about this project bringing new tenants to Sanford. The tenants have signage requirements which exceed those of the City's UDO Standards. Some of the anchor stores are 190 to 450 feet in length, which will equate to upscale signage corresponding to the stores. Regarding buffering along interior lots, the developer is treating this development as a shopping center and will comply with the UDO requirements for shade coverage. There are serious constraints along Spring Lane connected with Duke easements, so he is asking for flexibility in where to place plantings. Mr. Grimes confirmed that an Elizabeth's Pizza representative attended the neighborhood meeting, and they continue to have conversations. Elizabeth's has a drive access easement, and CASTO will be working on the existing drive but CASTO will work with Elizabeth's to provide access during construction; they are very cognizant of the need for access to the restaurant, as well as to the dental facility during construction.

William E. May (1009 Wilkins Drive, Sanford) commented on the many changes he has seen in the 52 years he has lived near Riverbirch. He expressed opposition to the development and any revisions requested by the developer.

With no other speakers, Mayor Salmon closed the public hearing and the Planning Board retired to the West End Conference Room.

### **OTHER BUSINESS**

City Council Members wished everyone a Merry Christmas and Happy New Year and urged everyone to check on friends and family during colder winter weather. Mayor Salmon encouraged everyone to support Toys for Tots by donating and attending a concert featuring songwriter and musician Taylor Phillips.

### **ADJOURNMENT**

Council Member Petty made a motion to adjourn the meeting. Seconded by Council Member Rhodes, the motion carried unanimously.

**ALL EXHIBITS CONTAINED HEREIN ARE HEREBY INCORPORATED BY REFERENCE AND MADE A PART OF THESE MINUTES.**

Respectfully Submitted,

\_\_\_\_\_  
REBECCA WYHOF SALMON, MAYOR

ATTEST:

\_\_\_\_\_  
BONNIE BRYANT, CITY CLERK

**MINUTES OF MEETING OF THE  
CITY COUNCIL  
SANFORD, NORTH CAROLINA**

The City Council met at the Sanford Municipal Center, 225 E. Weatherspoon Street, on Tuesday, January 6, 2026, at 5:00 p.m., in Council Chambers. The following people were present:

Mayor Rebecca Wyhof Salmon  
Council Member Mark Akinosho  
Council Member Walter Ferguson  
Council Member Linda Rhodes  
City Manager Hal Hegwer  
City Clerk Bonnie Bryant

Mayor Pro Tem Byron Buckels  
Council Member Jean Dabbs (arrived at 5:20 p.m.)  
Council Member Christopher Petty  
Council Member Charles Taylor  
City Attorney Susan Patterson  
Deputy City Clerk Vicki Cannady

**CALL TO ORDER**

Mayor Salmon called the meeting to order. Council Member Ferguson led the invocation and the Pledge of Allegiance was recited.

**PUBLIC COMMENT (Exhibit A)**

Greg Stoch, 220 N. Gulf Street, Sanford, North Carolina, stated that he and his wife fully support the Riverbirch Shopping Center redevelopment project but expressed concern with increased traffic in the Rosemont/McIver Historic District area, and suggested raised crosswalks to calm traffic.

**APPROVAL OF AGENDA**

Mayor Pro Tem Buckels made a motion to approve the agenda. Seconded by Council Member Rhodes, the motion carried unanimously.

**CONSENT AGENDA**

There were no items on the consent agenda.

**SPECIAL AGENDA**

There were no items on the special agenda.

**REGULAR AGENDA**

There were no items on the regular agenda.

**NEW BUSINESS**

**Ordinance Amending the Annual Operating Budget of the City of Sanford FY 2025-2026 – VueWorks Implementation (Exhibit B)**

Assistant City Manager Beth Kelly explained that this ordinance appropriates funding for an increase in the contract premium for software used to manage work orders and maintenance requests for TriWater Water Systems.

Council Member Ferguson made a motion to approve the Ordinance Amending the Annual Operating Budget of the City of Sanford 2025-2026 – VueWorks Implementation. Seconded by Council Member Rhodes, the motion carried unanimously.

Memorandum of Understanding Between the North Carolina Department of Transportation and the City of Sanford for Improvements to Carthage Street (Exhibit B)

City Attorney Susan Patterson reminded everyone that North Carolina Department of Transportation (NCDOT) is installing a roundabout at Wicker Street and Carthage Street in connection with the Carthage Street improvements. This roundabout will encroach on a small portion of property used as the Kiwanis Children's Park. Kiwanis Children's Park is subject to Land and Water Conservation Fund (LWCF) requirements; therefore, there must be replacement recreational land provided to offset the impacts to the park. City representatives, along with Lee County representatives, have identified four City-owned parcels at the southern end of Hudson Avenue that the City is willing to donate as potential replacement land for the impacts to Kiwanis Children's Park. The potential replacement parcels are in an area contiguous to Horton Park, another LWCF-funded park property. We have been in contact with representatives of the North Carolina Division of Parks and Recreation, who have indicated that these parcels appear to meet Section 6(f) requirements for conversion of the Kiwanis Children's Park property needed for the project with land of equal or greater value, location, and usefulness. The amount of land the City is donating exceeds the amount that is being taken by NCDOT for the roundabout; however, an evaluation was completed of the parcels and it is close in value. NCDOT is compensating Lee County \$84,000 for the part the roundabout project is taking and Lee County is proposing to use these funds toward improvements to Horton Park. The deeds for the parcels of the proposed property to be donated by the City have been prepared and are ready for signatures. The Memorandum of Understanding is between NCDOT, the City of Sanford and Lee County, and it sets forth terms of these agreements and compensates the county for the value of the land they are losing at the park. Brick Capital Community Development Corporation (BCCDC) had an agreement with the City of Sanford for a community garden on some of the land in question and there have been discussions between Lee County and Kerry Bashaw regarding whether this will continue; BCCDC has indicated that they are in agreement with Lee County's proposal. Attorney Patterson explained that the City of Sanford indicated to Lee County that we are interested in having this agreement contingent upon the lease with Brick Capital being honored and Lee County agreeing to make it a consideration in the first year and reconsider each year thereafter but they did not want to commit to a contingency in the agreement with NCDOT. Attorney Patterson noted that she reviewed the City's past contingency agreements and they were for a one-year period as well. Attorney Patterson explained that laws for leases exceeding one year have different requirements. Since Lee County has not officially confirmed a one-year contingency agreement, Council members were in agreement to postpone their decision on this issue until Lee County confirms their contingency intent.

Council Member Ferguson made a motion to table the decision on this project until further information is obtained. The motion was seconded by Council Member Rhodes. Council Member Taylor asked that the motion to table include the contingency that Lee County offer a one-year Lease to Brick Capital Community Development for the community garden with an option for two one-year agreements. Council Member Ferguson amended his motion to include the one-year contingency with a two-year option. Council Member Rhodes seconded the amended motion, and it carried unanimously.

Resolution in Support of the Temporary Closure of Several Downtown Streets for the FirstHealth Resolution Run and Fitness Fest (Exhibit D)

Parks Administrator Caroline Jeffries explained that this request is for the temporary closure of multiple streets from 7:00 A.M. until 11:00 A.M. on January 24, 2026, contingent upon a certificate of insurance being submitted for this event.

Council Member Rhodes made a motion to approve the Resolution in Support of the Temporary Closure of Several Downtown Streets for the FirstHealth Resolution Run and Fitness Fest, contingent upon receiving a certificate of insurance. Seconded by Council Member Akinosho, the motion carried unanimously.

Resolution in Support of the Temporary Closure of Portions of McIver Street and Jenkins Street for the Opening of the Life Springs Restoration Center (Exhibit E)

Parks Administrator Caroline Jeffries explained that Daniel Owens, Executive Director of Life Springs Church, on behalf of Life Springs Restoration Center, has submitted a request for road closures on January 17, 2026, from 9:00 A.M. until 3:00 P.M., for a ribbon cutting of the church's new center.

Council Member Taylor made a motion to approve the Resolution in Support of the Temporary Closure of Portions of McIver Street and Jenkins Street for the Opening of the Life Springs Restoration Center. Seconded by Council Member Akinosho, the motion carried unanimously.

**DECISIONS ON PUBLIC HEARINGS**

**ZONING MAP AMENDMENT / REZONING APPLICATION: CASE 2025-1201**

Application by CASTO-CCM Sanford Owner, LLC, to rezone 44.78 acres +/- comprised of Riverbirch Corner shopping center at 1015-1133 Spring Lane, one outparcel at 1135 Spring Lane, and two adjoining vacant parcels from General Commercial (C-2) and Office & Institutional (O&I) to General Commercial Conditional Zoning District (C-2-C) to allow the redevelopment of a shopping center with its own unique signage and landscaping standards. The subject property is identified as Lee County Tax Parcels 9643-01-0668-00, 9633-92-8481-00, 9643-02-3208-00 and 9643-00-5683-00 as depicted on Tax Maps 9643.03 and 9633.04. (Exhibit F)

Senior Planner Amy McNeill reminded Council that the Planning Board met on December 16, 2025, after the public hearing was held on this request, and recommended unanimously that City Council approve the rezoning request. The board found that the request is consistent with the "*Plan SanLee Long-range Plan*" designation of Mixed-Use Activity Center because this place type encourages shopping center type development. This is the redevelopment of an existing shopping center with its own unique existing conditions; therefore, the landscaping components of the request appear reasonable and the applicant verified for the board that the tenants triggering the signage component of the request use the same type and size of signage in other locations nationwide and not just at the Sanford location.

- Statement on Long-Range Land Use Plan Consistency as it Relates to this Zoning Map Amendment  
Council Member Rhodes made a motion that the proposed map amendment is consistent with the "*Plan SanLee Long Range Plan*" designation of Mixed-Use Activity Center, because this placetype encourages shopping center type development. Seconded by Council Member Akinosho, the motion carried unanimously.
- Ordinance Amending the Official Zoning Map of the City of Sanford, North Carolina (Exhibit G)  
Council Member Petty made a motion to approve the Ordinance Amending the Official Zoning Map of the City of Sanford, North Carolina, because it is reasonable and in the public interest given that it would allow the redevelopment of an existing shopping center with development standards that meet the intent of the Unified Development Ordinance (UDO). Seconded by Council Member Akinosho, the motion carried unanimously.

**CLOSED SESSION**

Council Member Ferguson made a motion to go into closed session in accordance with N.C.G.S. 143-318.11(a)(1), to prevent the disclosure of information that is privileged or confidential pursuant to the law of this State or the United States. Seconded by Council Member Rhodes, the motion carried unanimously.

**RETURN TO REGULAR SESSION**

Council returned to regular session and Mayor Salmon reconvened the meeting at 6:00 p.m.

**CASES FOR PUBLIC HEARING (held at 6:00 p.m.)**

Public Hearing Petition Requesting Contiguous Annexation by GOT Dirt, LLC

Petition requesting contiguous annexation of an area described in said petition as 1.96 +/- acres owned by GOT Dirt, LLC (further identified as Tax Property Identification Numbers 9651-17-4198-00 and 9651-17-4046-00) and the Right-of-Way of Lemon Springs Road (Exhibit H)

Mayor Salmon opened the public hearing.

Long-Range Planning Administrator David Montgomery explained that this request is being made to develop a single-family subdivision. He reviewed City services available to the property, street access, and fire protection as shown on the attached Exhibit H. He also explained that the “*Plan SanLee Long Range Plan*” designates this property as Suburban Neighborhood. Since the property is already in the City’s extra-territorial jurisdiction, it does not require rezoning. Staff recommends assigning this property to Electoral Ward #5.

Mayor Salmon recognized Martha Bright, who signed up to speak. Mrs. Bright stated she was available for questions but did not speak.

With no other speakers, Mayor Salmon closed the public hearing.

- Ordinance to Extend the Corporate Limits of the City of Sanford, North Carolina (Exhibit I)  
Mayor Pro Tem Buckels made a motion to approve the Ordinance to Extend the Corporate Limits of the City of Sanford, North Carolina, and assign it to Electoral Ward #5. Seconded by Council Member Rhodes, the motion carried unanimously.

Public Hearing on Petition Requesting Contiguous Annexation by Adams Village, LLC

Petition requesting contiguous annexation of an area described in said petition as 31.578 +/- acres owned by Adams Village LLC (further identified as Tax Property Identification Number 9661-15-5160-00) (Exhibit I)

Mayor Salmon opened the public hearing.

Long-Range Planning Administrator David Montgomery reminded everyone that this property was recently rezoned to Conditional Zoning. He confirmed that the property is contiguous to the City limits, and reviewed City services, including water and sewer. He also reviewed information on streets and fire services as described in Exhibit I. He confirmed that the request complies with the “*Plan SanLee Long Range Plan*.” Since the property is already in the City’s extra-territorial jurisdiction, it does not require rezoning. Mr. Montgomery suggested this property be assigned to Electoral Ward #5.

David Allen, 2715 Anderson Drive, Raleigh, explained that he was available for questions and declined to speak.

With no other speakers, Mayor Salmon closed the public hearing.

- Ordinance to Extend the Corporate Limits of the City of Sanford, North Carolina (Exhibit J)  
Council Member Rhodes made a motion to approve the Ordinance to Extend the Corporate Limits of the City of Sanford, North Carolina, and that the annexed area be assigned to Electoral Ward #5. Seconded by Council Member Ferguson, the motion carried unanimously.

**OTHER BUSINESS**

Council members wished everyone a Happy New Year, and offered sympathies to the family of Brenda Johnson, who made many contributions to our community.

**ADJOURNMENT**

Council Member Rhodes made a motion to adjourn the meeting. Seconded by Council Member Akinosho, the motion carried unanimously.

**ALL EXHIBITS CONTAINED HEREIN ARE HEREBY INCORPORATED BY REFERENCE AND MADE A PART OF THESE MINUTES.**

Respectfully Submitted,

\_\_\_\_\_  
REBECCA WYHOF SALMON, MAYOR

ATTEST:

\_\_\_\_\_  
BONNIE BRYANT, CITY CLERK



PUBLIC WORKS DEPARTMENT

# *CITY OF SANFORD*

P. O. BOX 3729

FAX 919-774-8179

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*North Carolina 27331-3729*

TELEPHONE 919-777-1122

OR 919-777-1118

Vic I. Czar, P.E.  
Assistant City Manager

## MEMORANDUM

TO: Beth R. Kelly, Assistant City Manager

FROM: Paul M. Weeks Jr., P.E. 

DATE: January 8, 2026

SUBJECT: Siler City Wastewater Treatment Plant – Additional manning

When the City of Sanford assumed management of the Siler City wastewater treatment plant, it was running with four operators. Our standard is six. In FY 2024-2025, one operator was approved and added, with the intent of bringing the plant staff up to six in FY 2025-2026.

This facility is under a special order of consent and moratorium. Bringing in the sixth operator early will help staff maintain compliance during this period

We are requesting funds to hire the sixth operator this year.

**AN ORDINANCE AMENDING THE ANNUAL OPERATING BUDGET  
OF THE CITY OF SANFORD FY 2025-2026**

BE IT ORDAINED by the City Council of the City of Sanford, North Carolina in regular session assembled.

Section 1: The following amounts are hereby amended to ordinance 2025-065 per G. S. 159-15 for the continued operation of the City of Sanford, its government, and activities for the balance of the fiscal year 2025-2026

**UTILITY FUNDS  
APPROPRIATION OF FUNDS**

<u>REVENUES</u>			<u>EXPENDITURES</u>		
302145 54000	Siler Fund Balance	31,750	30216120 00000	Siler WWTP	31,750
<b>Total Appropriation</b>		<b><u>\$ 31,750</u></b>			

Section 2. This ordinance shall be in full force and effective from and after the date of its adoption.

ADOPTED this, the 20th day of January, 2026.

\_\_\_\_\_  
Rebecca Wyhof Salmon, Mayor

ATTEST:

\_\_\_\_\_  
Bonnie Bryant, City Clerk

**2025-2026 BUDGET ORDINANCE AMENDMENT**

**UTILITY FUND**

**Appropriation of Funds - results in increasing of budget**

**REVENUES**

Siler Fund Balance 31,750 To budget for expenses below

**EXPENDITURES**

Siler WTP 31,750 To budget salary for Additonal Operator at the Siler City Wastewater Treatment Plant

**AN ORDINANCE AMENDING THE ANNUAL OPERATING BUDGET  
OF THE CITY OF SANFORD FY 2025-2026**

BE IT ORDAINED by the City Council of the City of Sanford, North Carolina in regular session assembled.

Section 1: The following amounts are hereby amended to ordinance 2025-065 per G. S. 159-15 for the continued operation of the City of Sanford, its government, and activities for the balance of the fiscal year 2025-2026.

**GENERAL FUND  
APPROPRIATION OF FUNDS**

<u>REVENUES</u>			<u>EXPENDITURES</u>		
100045 54000	Appropriated Fund Balance	50,000	10066680 00000	Parks	50,000
<b>Total Appropriation</b>					
		<b>\$ 50,000</b>			

Section 2. This ordinance shall be in full force and effective from and after the date of its adoption.

ADOPTED this, the 20th day of January, 2026.

\_\_\_\_\_  
Rebecca Wyhof Salmon, Mayor

ATTEST:

\_\_\_\_\_  
Bonnie Bryant, City Clerk

**2025-2026 BUDGET ORDINANCE AMENDMENT**

**GENERAL FUND**

**Appropriation of Funds - results in increasing of budget**

**REVENUES**

Appropriated Fund Balance 50,000 To appropriate fund balance for items listed below

**EXPENDITURES**

Parks 50,000 To budget for demo and site cleanup of 1503 Old Carbonton Rd

## Presentation of North Carolina Recreation and Park Association Award

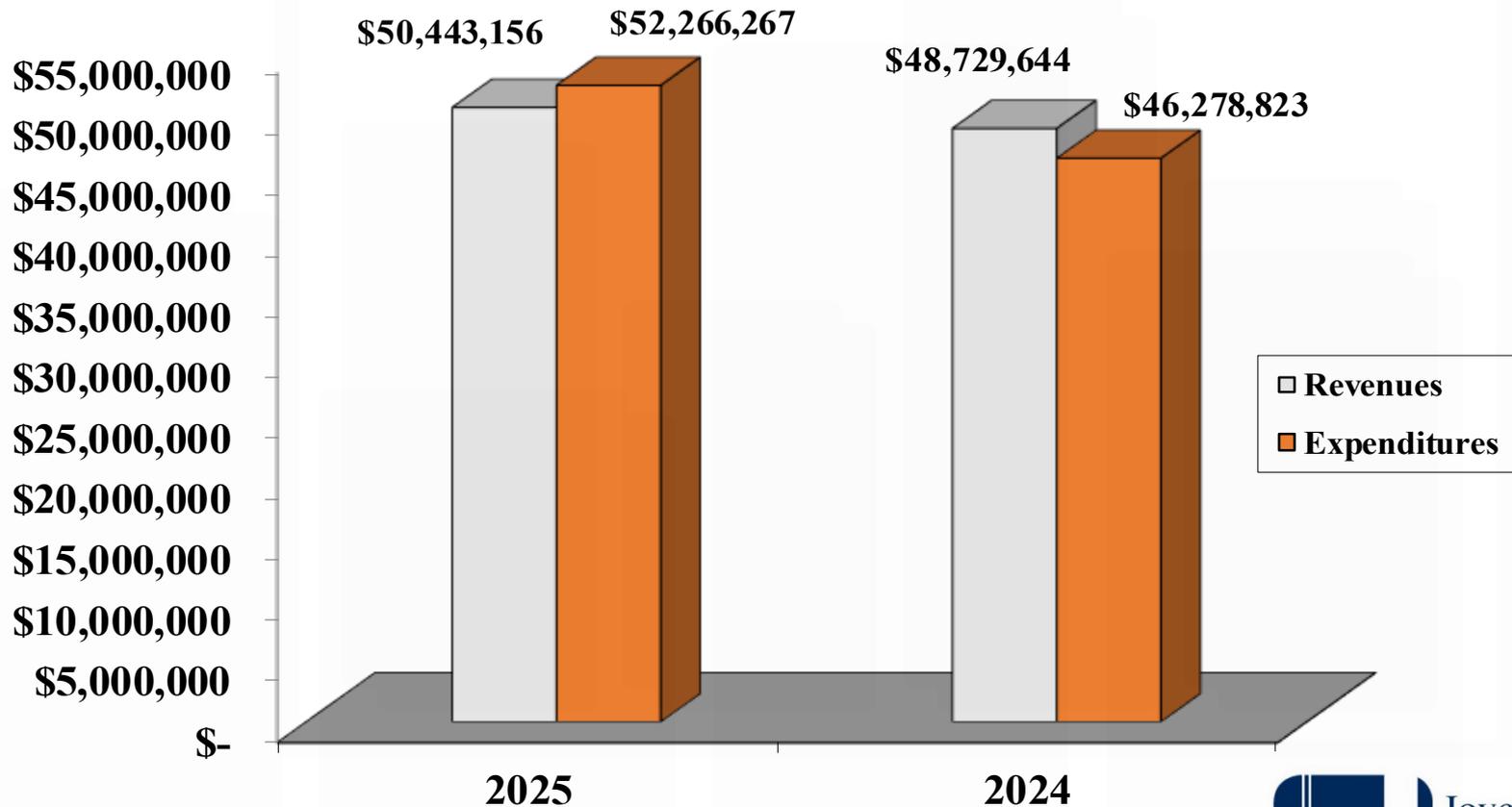


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# **City of Sanford**

## 2025 Audited Financial Statements

# General Fund Revenue and Expenditures (before Transfers)



# Fund Balance

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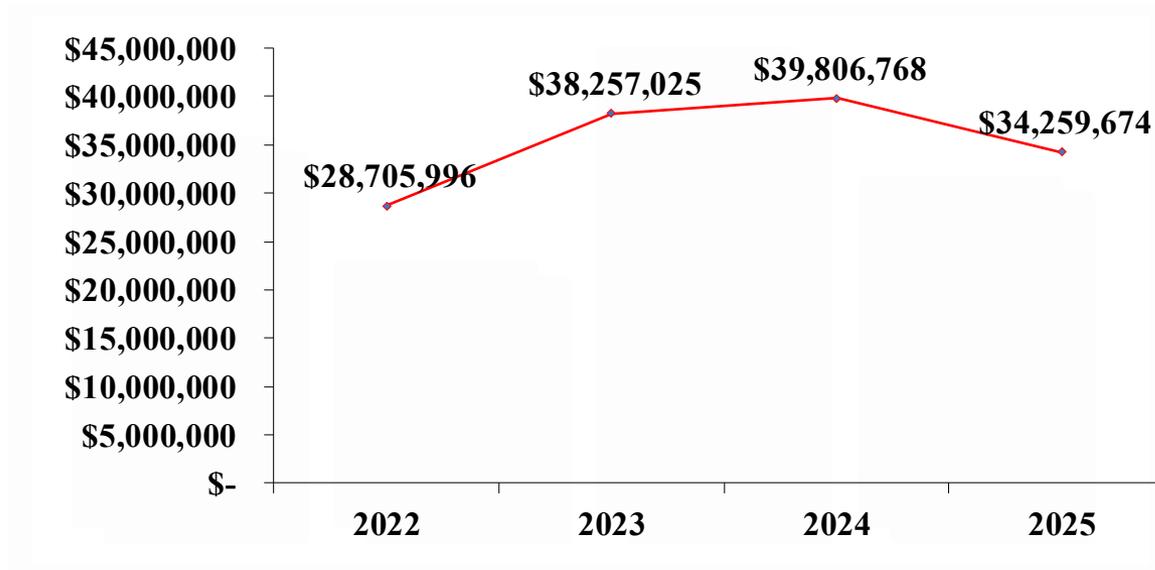
- Serves as a measure of the City's financial resources available.

## 5 Classifications:

- **Non spendable** - not in cash form
- **Restricted** - external restrictions (laws, grantors)
- **Committed** - internal constraints at the highest (Board) level-do not expire, require Board action to undo
- **Assigned** - internal constraints, lower level than committed
- **Unassigned** - no external or internal constraints

# Total Fund Balance General Fund

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# Available Fund Balance

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Available fund balance as defined by the Local Government Commission (LGC) is calculated as follows:

Total Fund Balance

Less: Non spendable (not in cash form, not available)

Less: Stabilization by State Statute (by state law, not available)

Available Fund Balance

This is the calculation utilized as the basis for comparing you to other units and calculating your fund balance



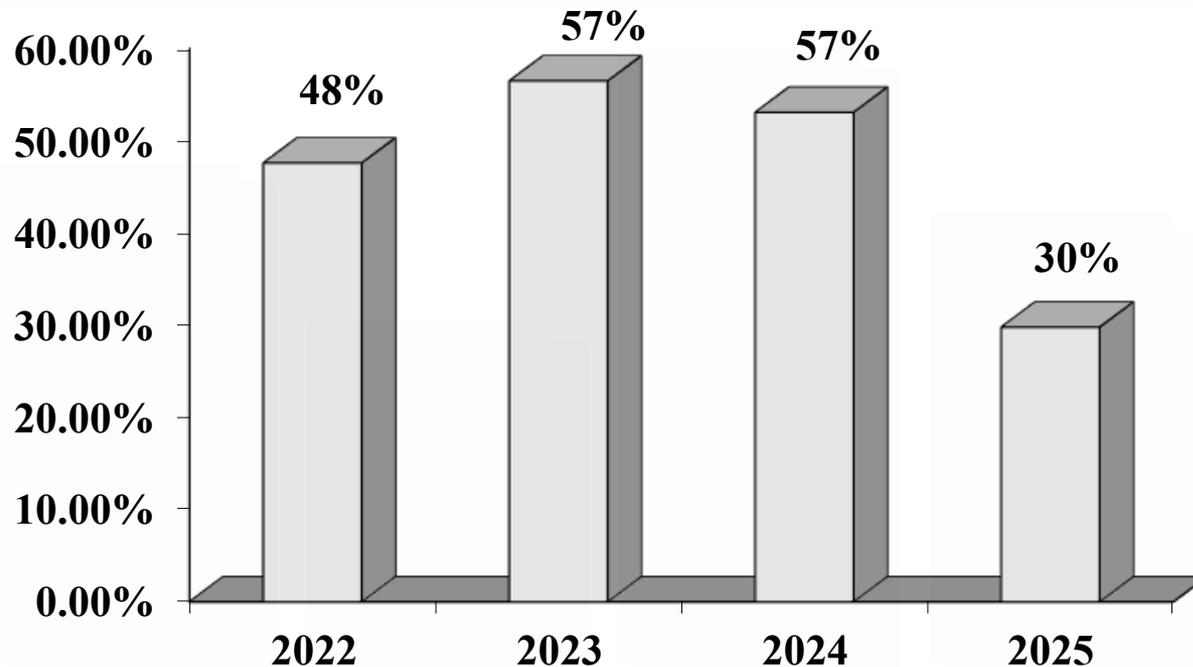
# Fund Balance Position-General Fund

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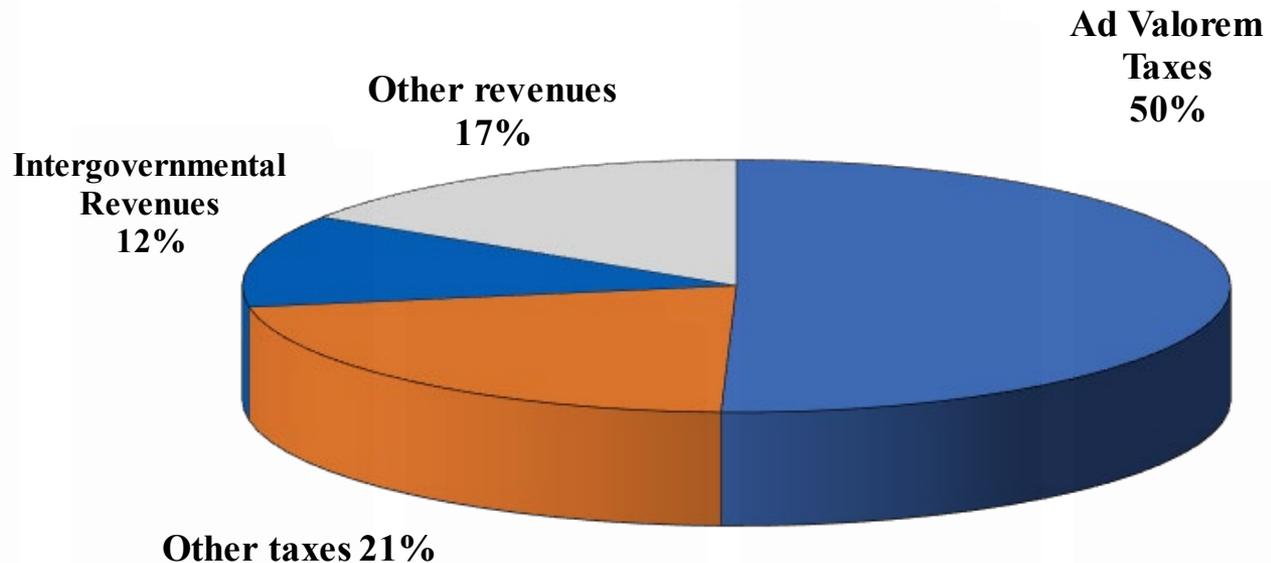
□ Total Fund Balance	\$ 34,259,674
□ Non-spendable	- 531,067
□ Restricted	- 11,356,172
□ Committed	- 2,473,901
□ Subsequent year expenditures	<u>- 2,927,482</u>
□ Available Fund Balance 2025	16,971,052
□ Available Fund Balance 2024	<u>25,334,821</u>
□ Decrease in Available FB	\$ 8,363,769

# Available Fund Balance as a Percent of Expenditures and Transfers Out – General Fund

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# Top 3 Revenues: General Fund



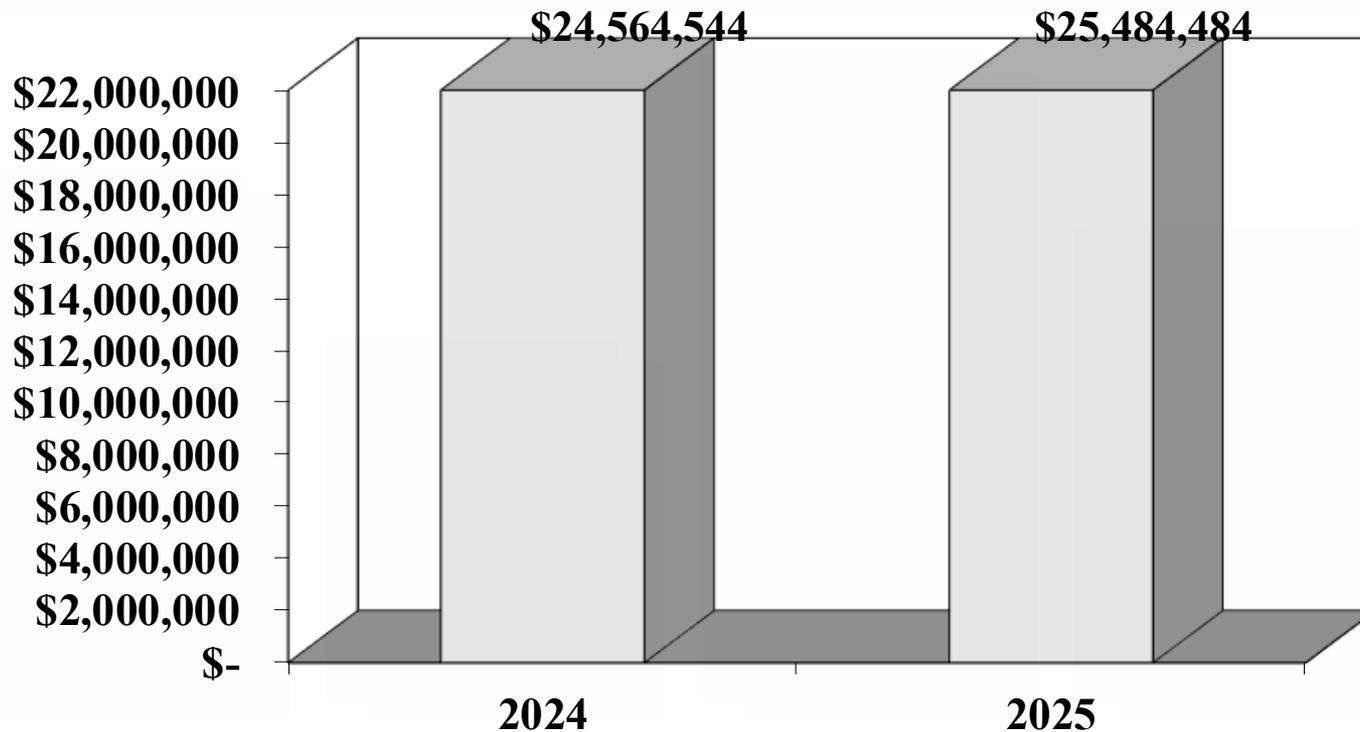
## Other Revenues:

Penalties and Interest  
Licenses and Permits  
Investment Income  
Sales and Service  
Miscellaneous

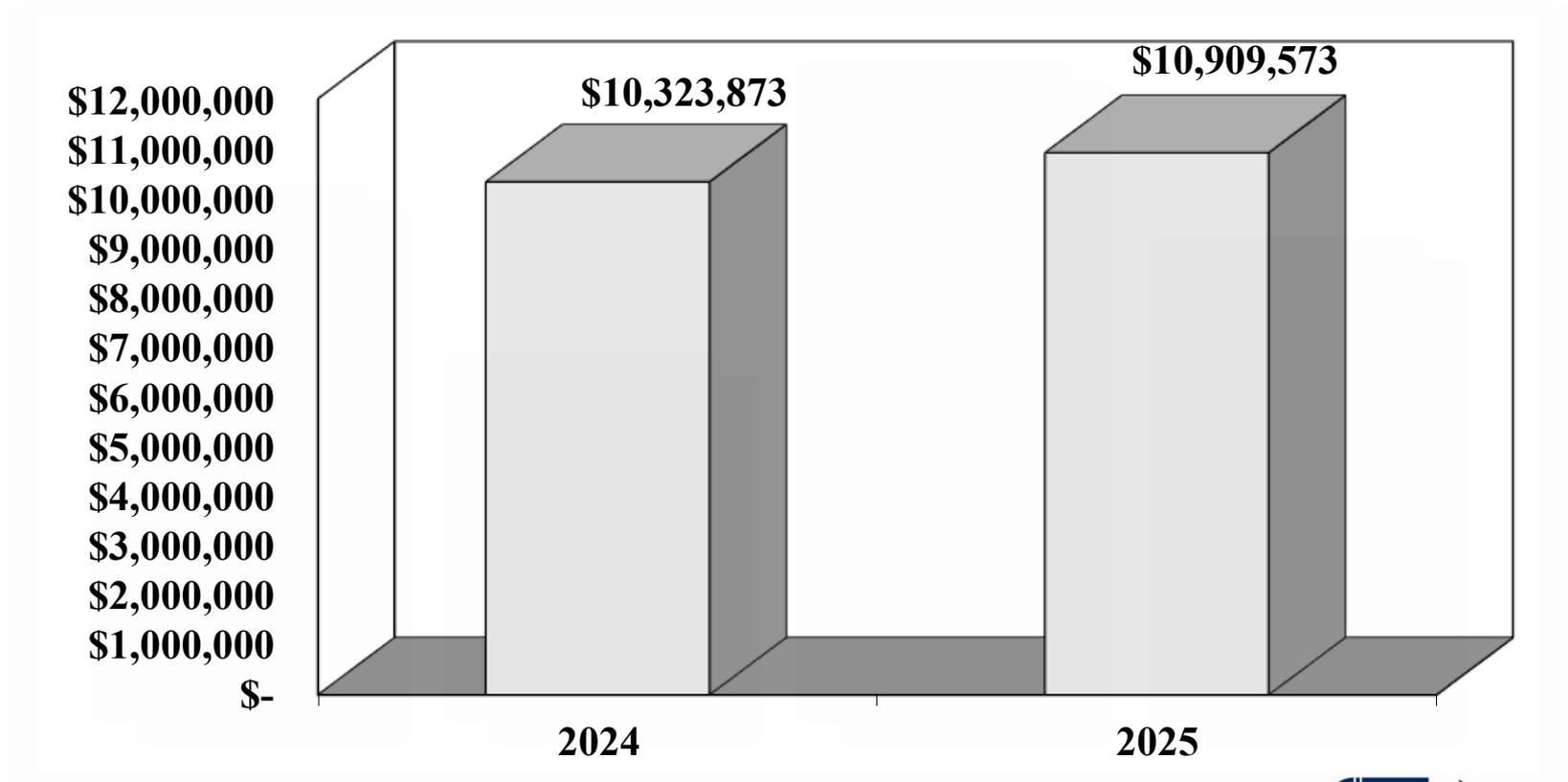
**Top 3 comprise \$42,261,439 (84%) of revenues**

**Revenues Total \$50,443,156**

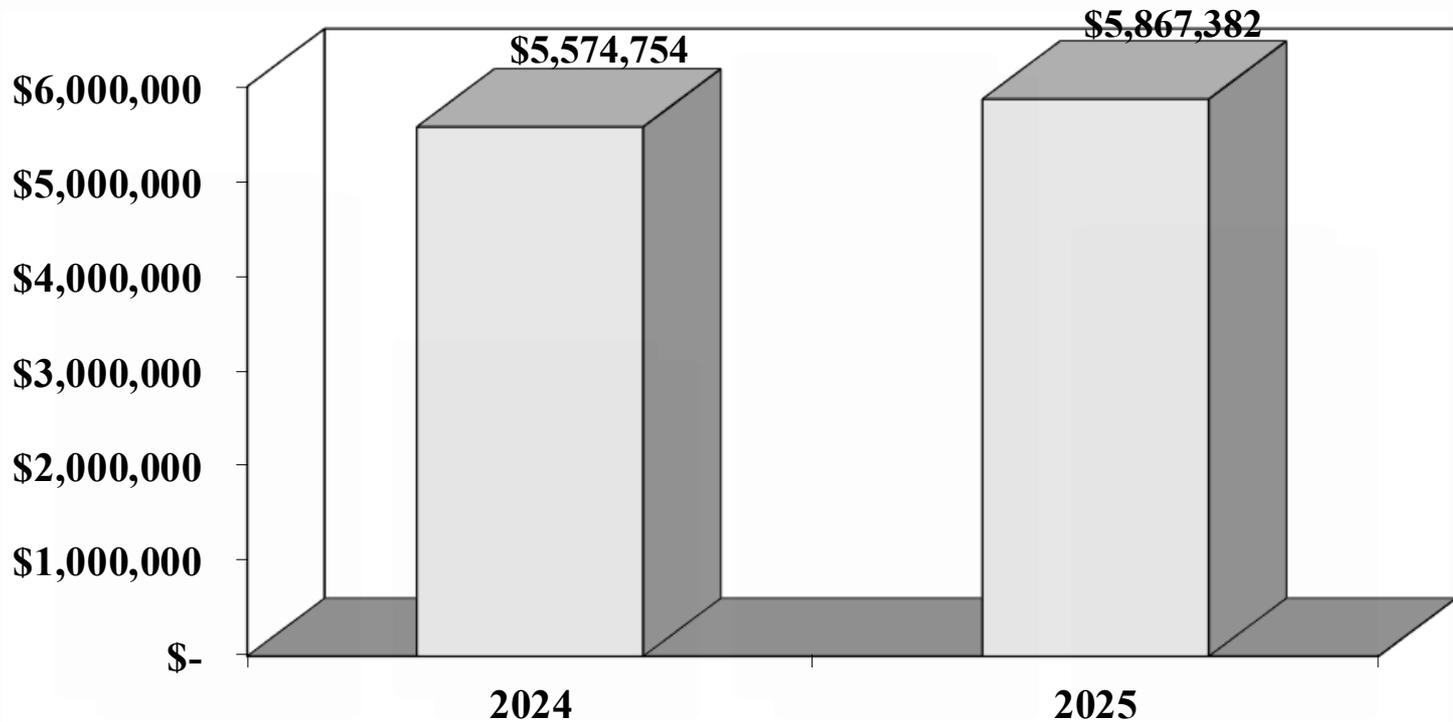
# Ad Valorem Taxes



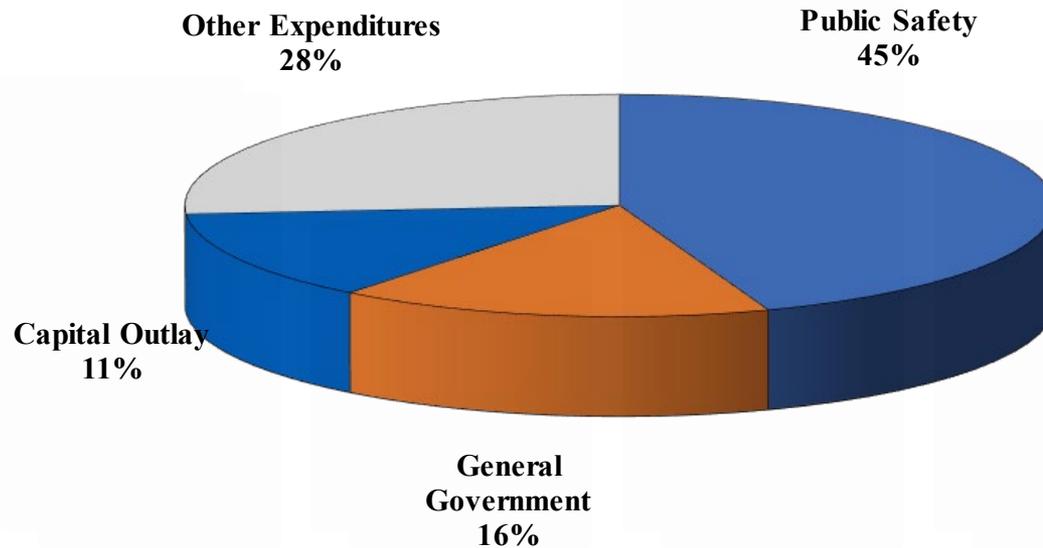
# Other Taxes



# Intergovernmental Revenues



# Top 3 Expenditures: General Fund



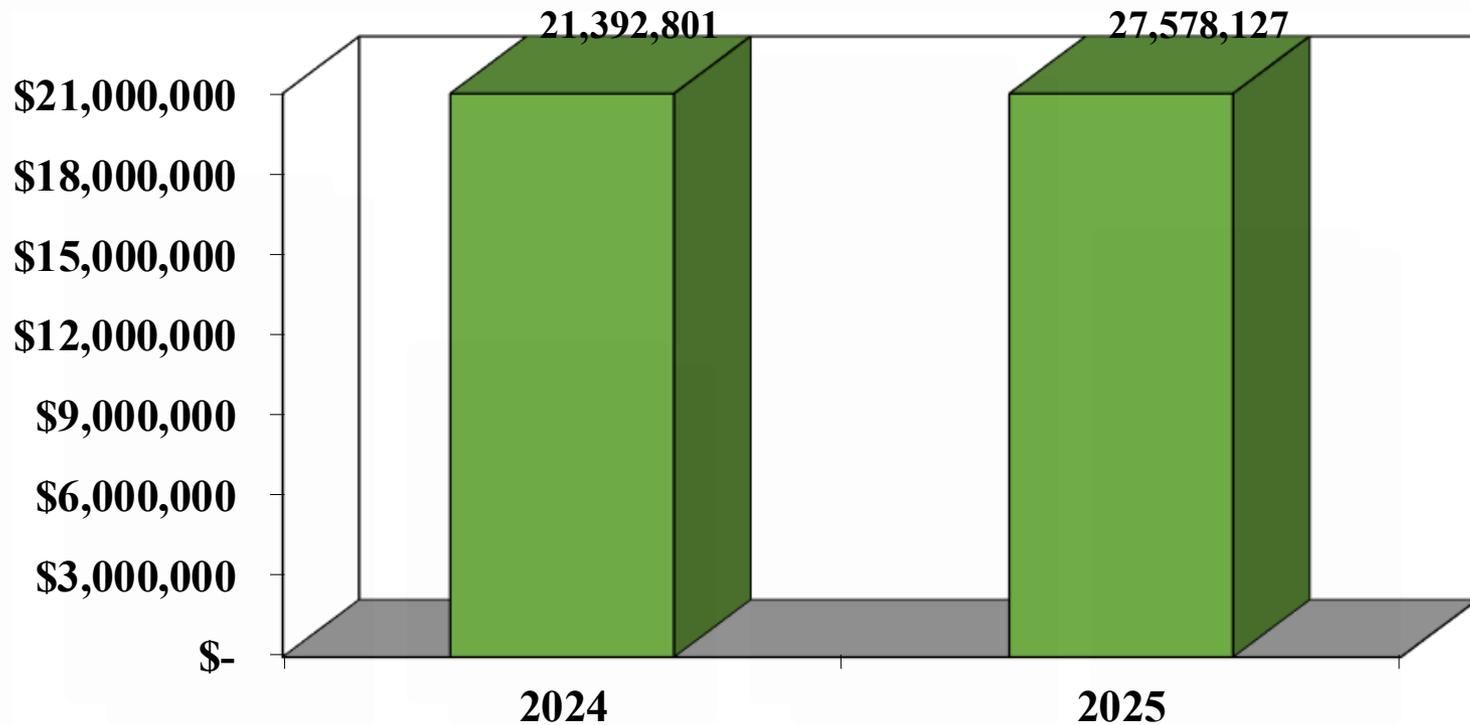
## Other Expenditures:

Streets  
Community Development  
Cultural and Recreational  
Sanitation  
Debt Service

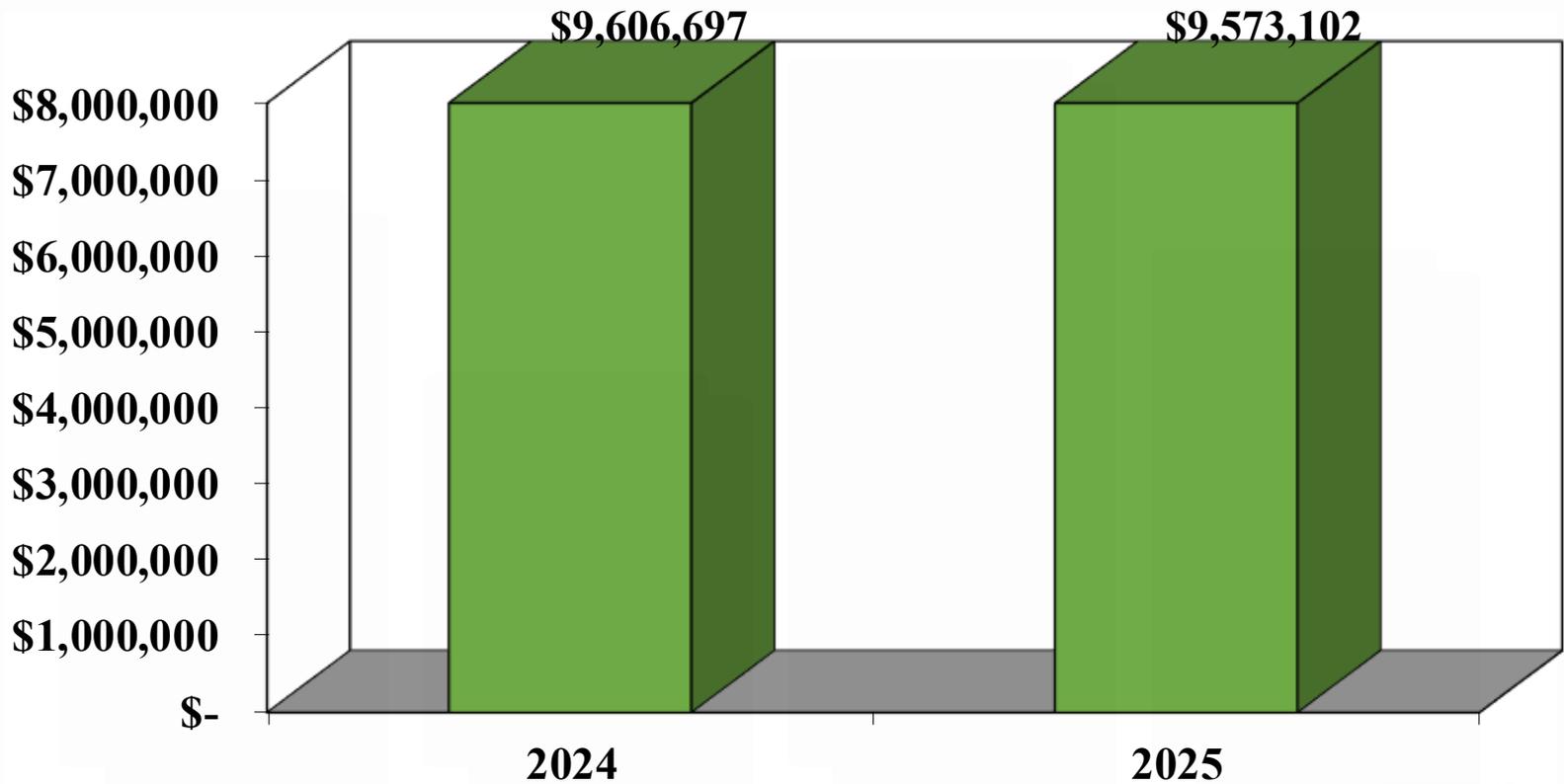
**Top 3 Comprise \$38,549,151 (74%) of Total Expenditures**

**Expenditures Total \$52,266,267**

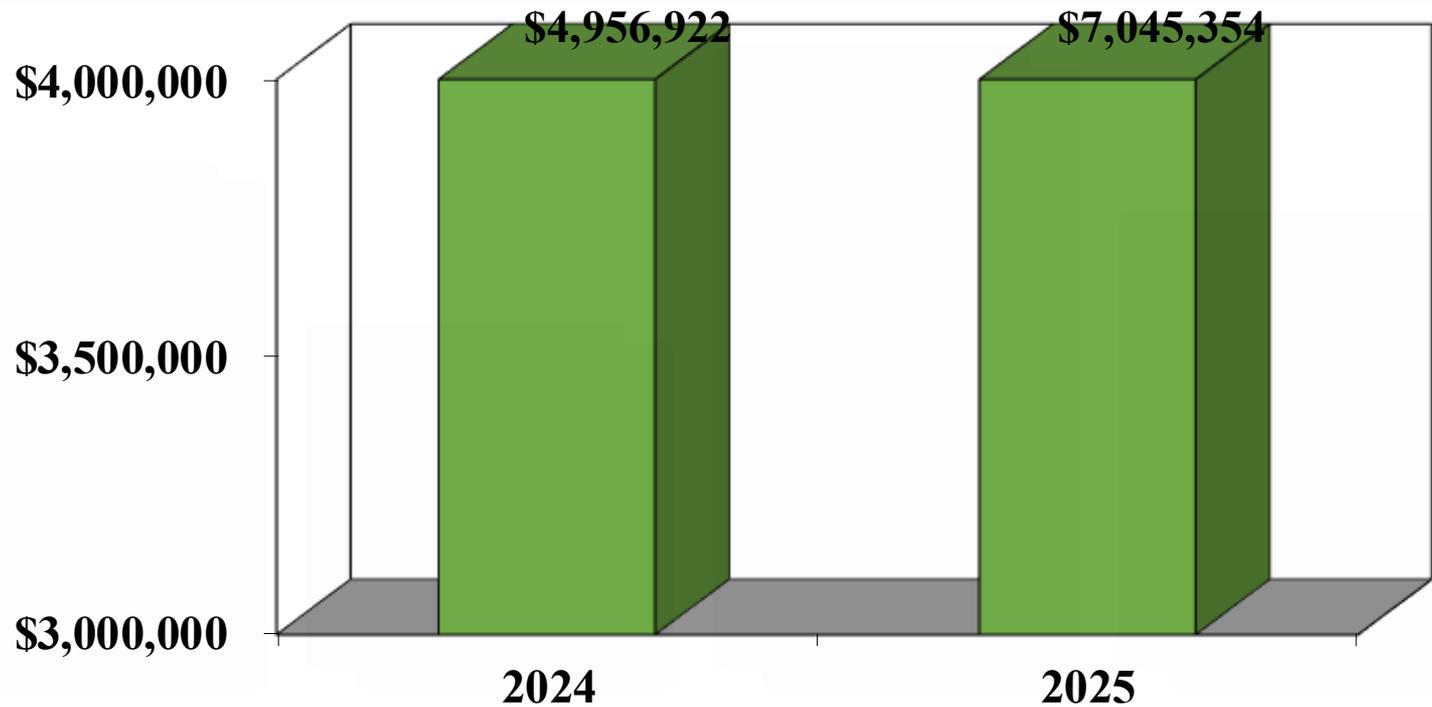
# Public Safety



# General Government



# Capital Outlay



# Utilities Fund-Budget Basis (Modified Accrual)

## Comparative Operating Income

	<b>2024</b>	<b>2025</b>
Revenues	\$ 30,601,311	\$ 38,426,813
Expenditures	28,887,835	40,214,127
Revenues over Expenditures	1,713,476	(1,787,314)
Other Financing Sources (Uses)	(4,149,311)	(6,084,515)
Total Income (Loss)	\$ (2,435,835)	\$ (7,871,829)

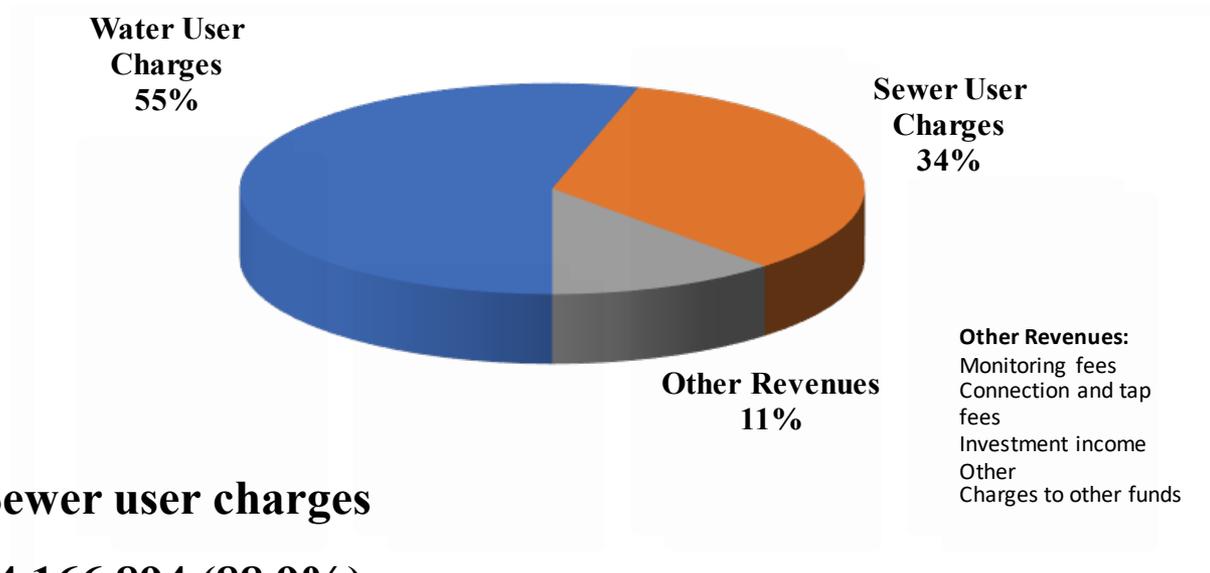
Modified accrual basis of accounting that includes capital expenses, debt service payments, and transfers out to capital projects causing negative numbers



# Utility Fund Debt Service Coverage (Full Accrual Accounting)

	2024	2025
Operating revenues	\$ 29,492,470	\$ 40,274,032
Operating expenses	<u>30,265,266</u>	<u>37,077,885</u>
Operating loss	(772,796)	3,196,147
Non-operating revenues (expenses)	<u>61,623</u>	<u>(174,246)</u>
Loss before transfers and capital contributions	(711,173)	3,021,901
Adjustments:		
Depreciation	7,159,612	8,083,214
Interest expense	1,709,337	4,832,595
Increase in other post-employment benefits accruals	(155,394)	(1,071,807)
Decrease in net pension accruals	<u>237,235</u>	<u>(211,553)</u>
Income available for debt service	<u>\$ 8,239,617</u>	<u>\$ 14,654,350</u>
Parity debt service (revenue bonds only)	\$ 3,186,750	\$ 5,934,167
Parity debt services coverage ration	2.59	2.47
G.O., subordinate and all other indebtedness	<u>1,325,086</u>	<u>1,490,615</u>
Total debt service	<u>\$ 4,511,836</u>	<u>\$ 7,424,782</u>
Total debt service coverage ratio	<u>1.83</u>	<u>1.97</u>

# Revenues: Utility Fund



**Water and Sewer user charges  
comprise \$34,166,894 (88.9%)  
of total utility revenues**

# Tourism Development Authority

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	2024	2025
Revenues	\$ 468,634	\$ 457,534
Expenditures	471,279	432,481
Net change in fund balance	<u>\$ (2,645)</u>	<u>\$ 25,053</u>



# Discussion & Questions

# City of Sanford 2025

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**RESOLUTION IN SUPPORT OF THE TEMPORARY CLOSURE OF TRADE STREET FOR BUSKING IN THE 'BORO**

**WHEREAS**, the City of Sanford formally requests the temporary closure of Trade Street; and

**WHEREAS**, the purpose of the said temporary closures will be for Busking in the 'Boro hosted by the City's Parks Department and

**WHEREAS**, the temporary closures would occur on Friday, March 20<sup>th</sup> at 8pm until March 21<sup>st</sup> at 8:00pm; and

**WHEREAS**, General Statute 160A-296 (a) (4) authorizes the Council for the City of Sanford to temporarily close streets for such purposes; and

**WHEREAS**, the City of Sanford has no objection to said event occurring between the stated hours on said date;

**NOW THEREFORE BE IT RESOLVED, THAT** the City of Sanford Police and Public Works Departments are directed to close the above street on Friday, March 20<sup>th</sup> at 6pm until March 21<sup>st</sup> at 8:00pm.

Adopted this 20<sup>th</sup> day of January, 2026.

\_\_\_\_\_  
Rebecca Wyhof Salmon, Mayor

ATTEST:

\_\_\_\_\_  
Bonnie Bryant, City Clerk

\_\_\_\_\_  
Susan Patterson, City Attorney



Dear Mayor and Members of the City Council,

I am excited to share details about an upcoming event that will bring energy, entertainment, and community connection to downtown Jonesboro—Busking in the ‘Boro! This vibrant street festival is designed to celebrate the season and showcase businesses within our local community.

The event will transform the heart of Jonesboro into a lively hub filled with sounds from local bands. Attendees will have the opportunity to explore a variety of craft and food vendors while enjoying art, entertainment, and activities suitable for all ages.

Busking in the ‘Boro is the perfect way to welcome the spring season, offering residents and visitors alike a chance to experience the dynamic spirit of our community. With its festive atmosphere and diverse attractions, this event will highlight Jonesboro as a cultural and social destination while supporting local talent and businesses.

We look forward to seeing you at this celebration of music, art, and community on March 21st. Thank you for your continued support in bringing events like these to life for our city.

Sincerely,

Sanford Parks



Hello!

We're excited to share details about **Busking in the 'Boro**, a lively community event we're planning for **March 21st, 2026 from 12:00pm-4:00pm**. This celebration of local talent will transform Trade Street into a vibrant hub of music, art, and performance, inviting residents and visitors to enjoy all our town has to offer.

### What to Expect:

- Bands will set up on Trade St where Fayetteville intersects from **12:00pm to 4:00pm**.
- Trade St will be closed to vehicle traffic during the event to ensure a safe, pedestrian-friendly experience.
  - We are requesting the street closure of Trade Street from 8:00pm March 20<sup>th</sup> through 8:00pm March 21<sup>st</sup>.
- Increased foot traffic, creating a wonderful opportunity to connect with the community and attract new customers.

This event is scheduled to go before the City Council on January 20th for approval.

### We'd Love Your Participation!

Join the fun by:

- Extending your business hours to welcome attendees.
- Hosting a sidewalk sale, performance, or activity in front of your store.
- Promoting the event to your customers and followers.

If you have any questions or would like to participate, please contact Parks and Grounds Administrator, **Caroline Jeffries** at 919-897-6461 or [caroline.jeffries@sanfordnc.net](mailto:caroline.jeffries@sanfordnc.net)

Thank you for being a vital part of our community. Let's make this event a success together!

Best regards,

City of Sanford Parks



# IN THE 'BORO

12pm-4pm  
Saturday, March 21st, 2026  
Trade St. Sanford, NC

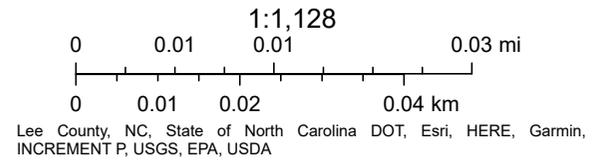


# Busking in the 'Boro



12/12/2025, 8:25:43 AM

-  CountyBoundary
-  Sanford



**RESOLUTION IN SUPPORT OF THE TEMPORARY CLOSURE OF COLE STREET CITY PARKING LOT FOR THE BLUES, BREWS AND BBQ EVENT**

**WHEREAS**, Tim Emmert, owner of Hugger Mugger Brewing, formally requests the temporary closure of Cole Street City parking lot; and

**WHEREAS**, the purpose of the said temporary closures will be for the Blues, Brews and BBQ event hosted by Hugger Mugger Brewing; and

**WHEREAS**, the temporary closures would occur on Friday, April 17<sup>th</sup> at 5:00pm through Saturday, April 18<sup>th</sup> at 10:00pm; and

**WHEREAS**, General Statute 160A-296 (a) (4) authorizes the Council for the City of Sanford to temporarily close streets for such purposes; and

**WHEREAS**, the City of Sanford has no objection to said event occurring between the stated hours on said date;

**NOW THEREFORE BE IT RESOLVED, THAT** the City of Sanford Police and Public Works Departments are directed to close the back half of the above parking lot on Friday, April 17<sup>th</sup> at 5:00pm through Saturday, April 18<sup>th</sup> at 10:00pm.

Adopted this 20<sup>th</sup> day of January, 2026.

\_\_\_\_\_  
Rebecca Wyhof Salmon, Mayor

ATTEST:

\_\_\_\_\_  
Bonnie Bryant, City Clerk

\_\_\_\_\_  
Susan Patterson, City Attorney



December 1, 2025

Dear Mrs. Jeffries,

Downtown Sanford Inc. writes this letter in support of the Blues, Brew and BBQ to be held April 17 and 18, 2026, as well as for both Carolina Indie Fest events scheduled for May 15-16 and September 25-26, 2026. Hugger Mugger is requesting that the Cole Street city parking lot be used for these events for safety and overflow purposes, as well as for food trucks and pig cookers.

Last year, the BBQ cookoff needed the parking lot to safely spread out the cookers to ensure proper distance during the long period the meat needed to be smoked. Last year's Carolina Indie Fest was extremely successful, leading patrons to place their chairs in the top parking lot to sit and enjoy the festivities, not to mention it has proved to be a fantastic location for vendors and a food truck rodeo.

We understand the displacement of the Wilrik residents is a challenge. We will work with Paige Burgess (manager of the Wilrik) and Tim Emmert (owner of HM) to ensure the residents are aware of the events and that we encourage them to partake in the festivities. In addition, we can help to make sure the designated, accessible parking is marked for their use.

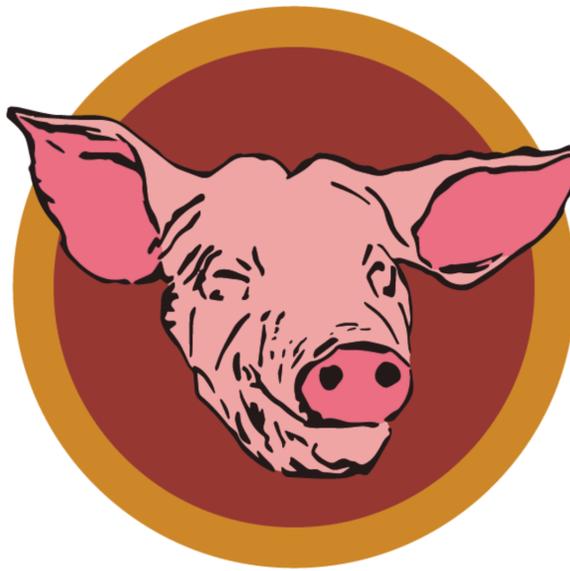
The community-welcoming events taking place at Hugger Mugger are good for all the businesses in the downtown area. They encourage visitors to discover our downtown as well as the overflow trickles to shopping and dining in all the establishments in the central business district. These events offer family-friendly fun for all, and the commitment to hosting quality events that are safe and welcoming is just one more reason our visitor base continues to increase each year.

We thank Tim Emmert and David McComas for their dedication to attracting visitors and the Sanford community to events at Hugger Mugger in addition to their partnership for helping drive success in all of downtown Sanford.

Sincerely,

Kelli Laudate  
Executive Director

Visit Sanford Welcome Center  
229 Carthage Street  
Sanford, NC 27330  
919-718-4659 x1400



City of Sanford  
225 E. Weatherspoon Street  
Sanford, NC 27330

Dear City of Sanford,

Hugger Mugger Brewing is seeking to host its 5th annual Blues, Brews and BBQ event on Saturday, April 18th. Cooking will take place from approximately 4am to 4pm with food being served approximately 5pm to 7pm that evening. All cooks and other participants should have their equipment packed up and removed from the site by 10pm that evening. To make this event happen we need use of the public parking lot at the corner of Steele Street and Cole Street adjacent to the brewery. This letter is our official request for that use.

No street closure is requested, only closure of the public parking of Steele and Cole. We have requested the following time for closure:

4/17/2026 5:00 PM - 4/18/2026 10:00 PM

The BBQ cooks will need early access to the lot starting at 4am on Saturday, April 18th & some may wish to bring their equipment on site the night of April 17th. I was asked to include that any cars being removed from the lot will be at the expense of the brewery. We hope to receive the same assistance in notifying car owners that we received in the past two years, that was very well done and much appreciated.

All grills will be self contained and all contestants will have to clean their site. Festival rules state "Each team is responsible for clean-up of its area at the conclusion of the cook-off. This includes all grease, ash, food items, paper or foil. Leave nothing to be picked up by festival organizers. This is a pack-in/pack out event. What you bring in must be hauled away including trash." Failure to comply with rules, including cleaning

of the site results in disqualification. The festival is a prize event with the winner taking away cash prizes. Prizes will not be awarded until all teams are in compliance.

The date of this year's event was selected because it falls after the tax submission deadline - there are a few tax assistance professionals on that section of Steele Street and closure prior to that submission date would be a hardship to them. Property owners whose staff or customers may make use of the lot at the corner of Steele and Cole have been contacted including businesses on Wicker Street from Horner Blvd to Steele Street, and on Steele Street from Wicker Street to Cole Street. A copy of what was provided to those businesses is attached.

Tim Emmert is the contact for this event and can be reached at 910 585 2749 and/or [tim@huggermuggerbrewing.com](mailto:tim@huggermuggerbrewing.com).

We are partnering on this event with Downtown Sanford Inc (DSI) and Kelli Laudate, the head of that organization, can be contacted at (919) 718-4659 ext. 1400. A letter with her endorsement is enclosed.

Sincerely,

A handwritten signature in black ink that reads "Tim Emmert". The signature is written in a cursive, flowing style with a large initial "T" and "E".

Tim Emmert  
Founder & Owner of Hugger Mugger Brewing



### **Public Parking Lot Closures in 2026**

The public parking lot at the corner of Steele & Cole Streets will be **closed** on the following days and times in 2026 for the fifth annual Brews, Blues & BBQ and Carolina Indie Fest (Spring & Fall):

4/17/2026 5:00 PM - 4/18/2026 10:00 PM  
5/15/2026 7:00 AM - 5/16/2026 11:59 PM  
9/25/2026 7:00 AM - 9/26/2026 11:59 PM

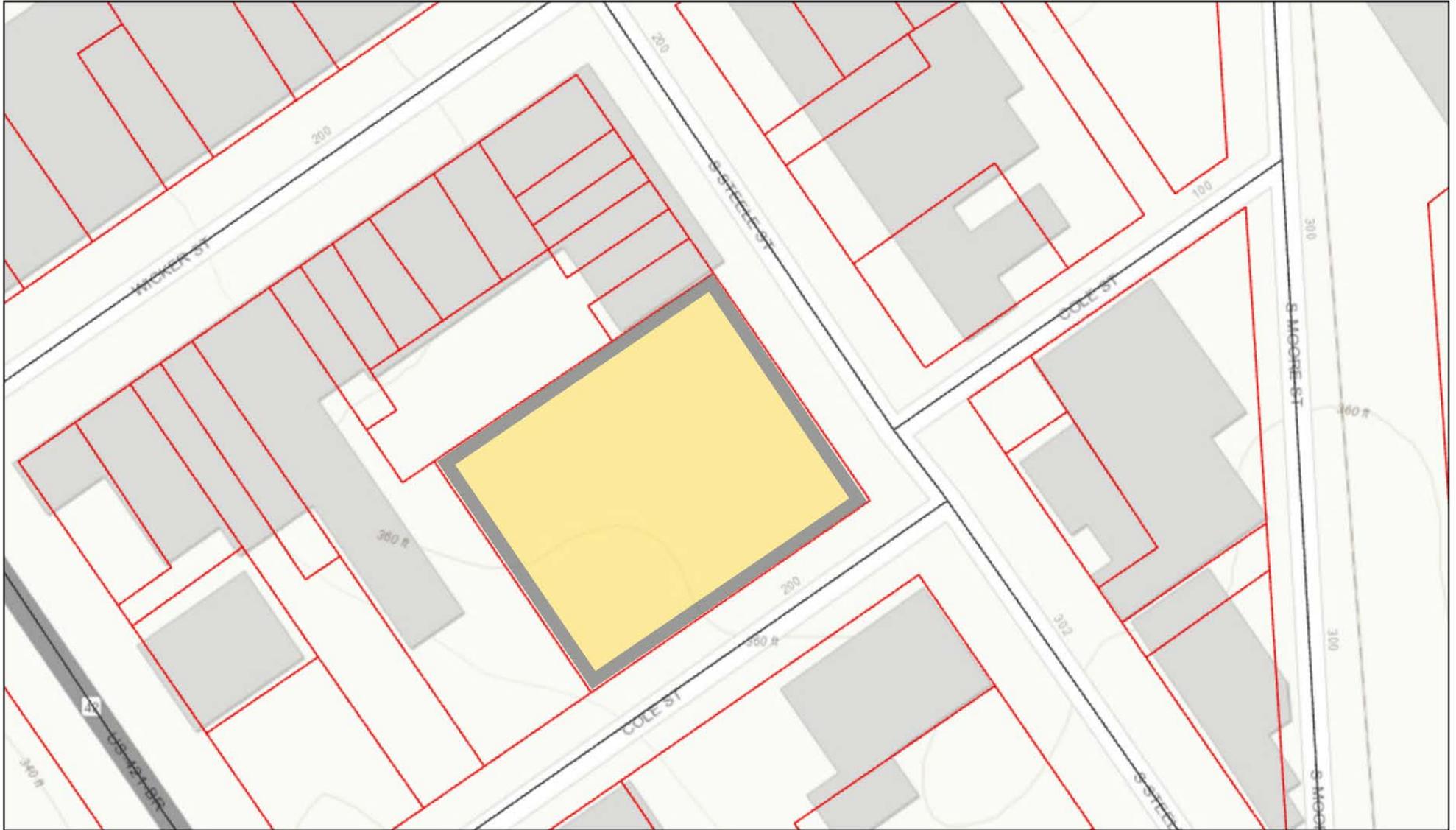
There will be no street closures for these events, only the public parking lot is affected. Parking on Cole Street between Steele and Horner is not marked for hourly parking and is the closest available alternative to parking in this lot.

We will work with City police and Downtown Sanford Inc to notify car owners. Fliers may be placed under windshield wipers the week of these events as a reminder, the City will also provide notice with signage.

There were no cars towed prior to either event since 2023 and our hope is we can repeat this in the future. BUT, if cars remain parked in the lot at the time of the closures listed above then we will be towing those vehicles to the impound lot at Paradise Towing. Paradise Towing may be contacted at (919) 774-0999 to arrange a time to retrieve it.

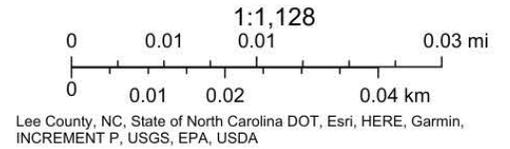
Thank you for your attention - if you have any questions please contact Tim Emmert by email at [tim@huggermuggerbrewing.com](mailto:tim@huggermuggerbrewing.com).

# Blues, Brews and BBQ 4/17/26 5pm-4/18/26 10pm



12/12/2025, 8:11:31 AM

-  CountyBoundary
-  Parcels
-  Sanford
-  Streets





# CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)  
1/8/2026

**THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.**

**IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must have ADDITIONAL INSURED provisions or be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).**

<b>PRODUCER</b> Insurance Service of Asheville 408 Executive Park Asheville NC 28801-2429	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td colspan="2"><b>CONTACT NAME:</b> Grant Bowles</td> </tr> <tr> <td><b>PHONE (A/C. No. Ext):</b> 828-253-1668</td> <td><b>FAX (A/C. No):</b> 828-258-8164</td> </tr> <tr> <td colspan="2"><b>E-MAIL ADDRESS:</b> certificates@isa-avl.com</td> </tr> <tr> <td colspan="2" style="text-align: center;"><b>INSURER(S) AFFORDING COVERAGE</b></td> </tr> <tr> <td><b>INSURER A :</b> The Cincinnati Specialty Underwriters Insurance Co</td> <td style="text-align: right;"><b>NAIC #</b> 13037</td> </tr> <tr> <td colspan="2"><b>INSURER B :</b></td> </tr> <tr> <td colspan="2"><b>INSURER C :</b></td> </tr> <tr> <td colspan="2"><b>INSURER D :</b></td> </tr> <tr> <td colspan="2"><b>INSURER E :</b></td> </tr> <tr> <td colspan="2"><b>INSURER F :</b></td> </tr> </table>	<b>CONTACT NAME:</b> Grant Bowles		<b>PHONE (A/C. No. Ext):</b> 828-253-1668	<b>FAX (A/C. No):</b> 828-258-8164	<b>E-MAIL ADDRESS:</b> certificates@isa-avl.com		<b>INSURER(S) AFFORDING COVERAGE</b>		<b>INSURER A :</b> The Cincinnati Specialty Underwriters Insurance Co	<b>NAIC #</b> 13037	<b>INSURER B :</b>		<b>INSURER C :</b>		<b>INSURER D :</b>		<b>INSURER E :</b>		<b>INSURER F :</b>	
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<b>INSURER E :</b>																					
<b>INSURER F :</b>																					
<b>INSURED</b> Hugger Mugger LLC 229 Wicker Street Sanford NC 27330	HUGGMUG-01																				

**COVERAGES** **CERTIFICATE NUMBER: 1867167528** **REVISION NUMBER:**

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL INSD	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
A	<input checked="" type="checkbox"/> <b>COMMERCIAL GENERAL LIABILITY</b> <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR  GEN'L AGGREGATE LIMIT APPLIES PER: <input checked="" type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC OTHER:	Y		CSU 0246604	1/10/2025	1/10/2026	EACH OCCURRENCE \$ 1,000,000 DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 100,000 MED EXP (Any one person) \$ PERSONAL & ADV INJURY \$ 1,000,000 GENERAL AGGREGATE \$ 2,000,000 PRODUCTS - COMP/OP AGG \$ 2,000,000 \$
	<b>AUTOMOBILE LIABILITY</b> <input type="checkbox"/> ANY AUTO <input type="checkbox"/> OWNED AUTOS ONLY <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS ONLY <input type="checkbox"/> NON-OWNED AUTOS ONLY						COMBINED SINGLE LIMIT (Ea accident) \$ BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$ \$
	<input type="checkbox"/> <b>UMBRELLA LIAB</b> <input type="checkbox"/> OCCUR <input type="checkbox"/> <b>EXCESS LIAB</b> <input type="checkbox"/> CLAIMS-MADE DED RETENTION \$						EACH OCCURRENCE \$ AGGREGATE \$ \$
	<b>WORKERS COMPENSATION AND EMPLOYERS' LIABILITY</b> ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? <input type="checkbox"/> Y/N <input checked="" type="checkbox"/> N/A (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below						<input type="checkbox"/> PER STATUTE <input type="checkbox"/> OTHER E.L. EACH ACCIDENT \$ E.L. DISEASE - EA EMPLOYEE \$ E.L. DISEASE - POLICY LIMIT \$

**DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)**  
 City of Sanford is Additional Insured as respects General Liability when required by contract.  
  
 Event Location: 229 Wicker St, Sanford, NC 27330 & unaddressed city parking lot at the corner of Cole and Steele Streets in Sanford, NC  
  
 Event Dates:  
 4/17/2026 5:00 PM - 4/18/2026 10:00 PM  
 5/15/2026 7:00 AM - 5/16/2026 11:59 PM  
 9/25/2026 7:00 AM - 9/26/2026 11:59 PM

<b>CERTIFICATE HOLDER</b>  City of Sanford 225 E. Weatherspoon St. Sanford NC 27330	<b>CANCELLATION</b>  SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.  AUTHORIZED REPRESENTATIVE 
---	--

**RESOLUTION IN SUPPORT OF THE TEMPORARY CLOSURE OF THE COLE STREET CITY PARKING LOT FOR THE MAY CAROLINA INDIE FEST**

**WHEREAS**, Tim Emmert, Owner of Hugger Mugger Brewing, formally requests the temporary closure of the Cole Street City parking lot; and

**WHEREAS**, the purpose of the said temporary closures will be for Carolina Indie Fest hosted by Hugger Mugger Brewing; and

**WHEREAS**, the temporary closures would occur on Friday, May 15<sup>th</sup> at 7:00am through Saturday, May 16<sup>th</sup> at 11:45pm; and

**WHEREAS**, General Statute 160A-296 (a) (4) authorizes the Council for the City of Sanford to temporarily close streets for such purposes; and

**WHEREAS**, the City of Sanford has no objection to said event occurring between the stated hours on said date;

**NOW THEREFORE BE IT RESOLVED, THAT** the City of Sanford Police and Public Works Departments are directed to close the above parking lot on Friday, May 15<sup>th</sup> at 7:00am through Saturday, May 16<sup>th</sup> at 11:45pm.

Adopted this 20<sup>th</sup> day of January, 2026.

\_\_\_\_\_  
Rebecca Wyhof Salmon, Mayor

ATTEST:

\_\_\_\_\_  
Bonnie Bryant, City Clerk

\_\_\_\_\_  
Susan Patterson, City Attorney



December 1, 2025

Dear Mrs. Jeffries,

Downtown Sanford Inc. writes this letter in support of the Blues, Brew and BBQ to be held April 17 and 18, 2026, as well as for both Carolina Indie Fest events scheduled for May 15-16 and September 25-26, 2026. Hugger Muggger is requesting that the Cole Street city parking lot be used for these events for safety and overflow purposes, as well as for food trucks and pig cookers.

Last year, the BBQ cookoff needed the parking lot to safely spread out the cookers to ensure proper distance during the long period the meat needed to be smoked. Last year's Carolina Indie Fest was extremely successful, leading patrons to place their chairs in the top parking lot to sit and enjoy the festivities, not to mention it has proved to be a fantastic location for vendors and a food truck rodeo.

We understand the displacement of the Wilrik residents is a challenge. We will work with Paige Burgess (manager of the Wilrik) and Tim Emmert (owner of HM) to ensure the residents are aware of the events and that we encourage them to partake in the festivities. In addition, we can help to make sure the designated, accessible parking is marked for their use.

The community-welcoming events taking place at Hugger Muggger are good for all the businesses in the downtown area. They encourage visitors to discover our downtown as well as the overflow trickles to shopping and dining in all the establishments in the central business district. These events offer family-friendly fun for all, and the commitment to hosting quality events that are safe and welcoming is just one more reason our visitor base continues to increase each year.

We thank Tim Emmert and David McComas for their dedication to attracting visitors and the Sanford community to events at Hugger Muggger in addition to their partnership for helping drive success in all of downtown Sanford.

Sincerely,

Kelli Laudate  
Executive Director

Visit Sanford Welcome Center  
229 Carthage Street  
Sanford, NC 27330  
919-718-4659 x1400



City of Sanford  
225 E. Weatherspoon Street  
Sanford, NC 27330

Dear City of Sanford,

We respectfully request closure of the public parking lot at the corner of Steele and Cole Streets for the following dates and times:

5/15/2026 7:00 AM - 5/16/2026 11:59 PM  
9/25/2026 7:00 AM - 9/26/2026 11:59 PM

The closures are for the purpose of having food concessions and crafty vendors as part of the Spring 2026 (5/15-5/16) and Fall 2026 (9/25-9/26) Carolina Indie Fests.

Property owners whose staff or customers may make use of the lot at the corner of Steele and Cole have been contacted including businesses on Wicker Street from Horner Blvd to Steele Street, and on Steele Street from Wicker Street to Cole Street. A copy of what was provided to those businesses is attached.

Weather permitting, these will be the 8th and 9th editions of Carolina Indie Fest. This all original music festival is free and open to the public. It is produced by Hugger Mugger Brewing and sponsored by the brewery and a couple dozen generous sponsors from the Sanford community.

The brewery is aware of its financial obligation to tow any cars in the parking lot that remain once the lot is closed. We are grateful for the assistance of multiple City of Sanford employees and Downtown Sanford Inc for helping locate the owners of vehicles. Those efforts helped save vehicle owners a lot of time and money, that was an act of kindness I hope will be repeated in 2026.

Thank you for your consideration.

Cheers,

A handwritten signature in black ink that reads "Tim Emmert". The signature is fluid and cursive, with the first name being more prominent.

Tim Emmert  
Owner & Founder, Hugger Mugger Brewing  
229 Wicker Street  
Sanford, NC 27330  
tim@huggermuggerbrewing.com



### **Public Parking Lot Closures in 2026**

The public parking lot at the corner of Steele & Cole Streets will be **closed** on the following days and times in 2026 for the fifth annual Brews, Blues & BBQ and Carolina Indie Fest (Spring & Fall):

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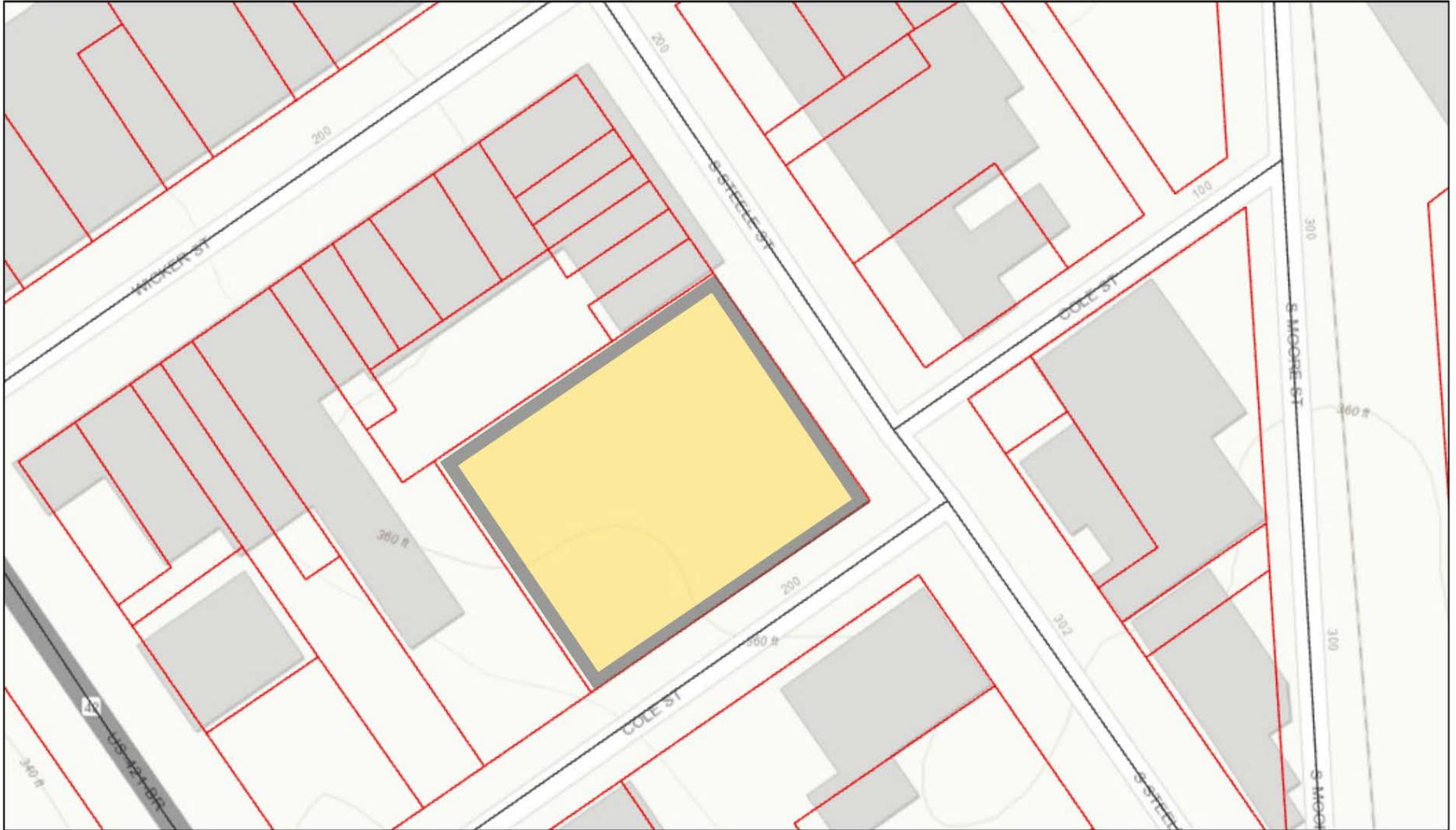
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There were no cars towed prior to either event since 2023 and our hope is we can repeat this in the future. BUT, if cars remain parked in the lot at the time of the closures listed above then we will be towing those vehicles to the impound lot at Paradise Towing. Paradise Towing may be contacted at (919) 774-0999 to arrange a time to retrieve it.

Thank you for your attention - if you have any questions please contact Tim Emmert by email at [tim@huggermuggerbrewing.com](mailto:tim@huggermuggerbrewing.com).

# Carolina Indie Fest 5/15/26 7:00am-5/16/26 11:45pm



12/12/2025, 8:13:15 AM

-  CountyBoundary
-  Parcels
-  Sanford
-  Streets

1:1,128  
0 0.01 0.01 0.03 mi  
0 0.01 0.02 0.04 km  
Lee County, NC, State of North Carolina DOT, Esri, HERE, Garmin, INCREMENT P, USGS, EPA, USDA



# CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)  
1/8/2026

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<b>INSURER C :</b>																					
<b>INSURER D :</b>																					
<b>INSURER E :</b>																					
<b>INSURER F :</b>																					
<b>INSURED</b> Hugger Mugger LLC 229 Wicker Street Sanford NC 27330	HUGGMUG-01																				

**COVERAGES** **CERTIFICATE NUMBER: 1867167528** **REVISION NUMBER:**

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL INSD	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
A	<input checked="" type="checkbox"/> <b>COMMERCIAL GENERAL LIABILITY</b>  <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR  GEN'L AGGREGATE LIMIT APPLIES PER: <input checked="" type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC OTHER:	Y		CSU 0246604	1/10/2025	1/10/2026	EACH OCCURRENCE \$ 1,000,000 DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 100,000 MED EXP (Any one person) \$ PERSONAL & ADV INJURY \$ 1,000,000 GENERAL AGGREGATE \$ 2,000,000 PRODUCTS - COMP/OP AGG \$ 2,000,000 \$
	<b>AUTOMOBILE LIABILITY</b> <input type="checkbox"/> ANY AUTO <input type="checkbox"/> OWNED AUTOS ONLY <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS ONLY <input type="checkbox"/> NON-OWNED AUTOS ONLY						COMBINED SINGLE LIMIT (Ea accident) \$ BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$ \$
	<b>UMBRELLA LIAB</b> <input type="checkbox"/> OCCUR <b>EXCESS LIAB</b> <input type="checkbox"/> CLAIMS-MADE DED <input type="checkbox"/> RETENTION \$						EACH OCCURRENCE \$ AGGREGATE \$ \$
	<b>WORKERS COMPENSATION AND EMPLOYERS' LIABILITY</b> ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? <input type="checkbox"/> Y / <input checked="" type="checkbox"/> N (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below		N/A				<input type="checkbox"/> PER STATUTE <input type="checkbox"/> OTHER E.L. EACH ACCIDENT \$ E.L. DISEASE - EA EMPLOYEE \$ E.L. DISEASE - POLICY LIMIT \$

**DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)**  
 City of Sanford is Additional Insured as respects General Liability when required by contract.  
  
 Event Location: 229 Wicker St, Sanford, NC 27330 & unaddressed city parking lot at the corner of Cole and Steele Streets in Sanford, NC  
  
 Event Dates:  
 4/17/2026 5:00 PM - 4/18/2026 10:00 PM  
 5/15/2026 7:00 AM - 5/16/2026 11:59 PM  
 9/25/2026 7:00 AM - 9/26/2026 11:59 PM

<b>CERTIFICATE HOLDER</b>  City of Sanford 225 E. Weatherspoon St. Sanford NC 27330	<b>CANCELLATION</b>  SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.  AUTHORIZED REPRESENTATIVE 
---	--

**RESOLUTION IN SUPPORT OF THE TEMPORARY CLOSURE OF THE COLE STREET CITY PARKING LOT FOR THE SEPTEMBER CAROLINA INDIE FEST**

**WHEREAS**, Tim Emmert, Owner of Hugger Mugger Brewing, formally requests the temporary closure of the Cole Street City parking lot; and

**WHEREAS**, the purpose of the said temporary closures will be for Carolina Indie Fest hosted by Hugger Mugger Brewing; and

**WHEREAS**, the temporary closures would occur on Friday, September 25<sup>th</sup> at 7:00am through Saturday, September 26<sup>th</sup> at 11:45pm; and

**WHEREAS**, General Statute 160A-296 (a) (4) authorizes the Council for the City of Sanford to temporarily close streets for such purposes; and

**WHEREAS**, the City of Sanford has no objection to said event occurring between the stated hours on said date;

**NOW THEREFORE BE IT RESOLVED, THAT** the City of Sanford Police and Public Works Departments are directed to close the above parking lot on Friday, September 25<sup>th</sup> at 7:00am through Saturday, September 26<sup>th</sup> at 11:45pm.

Adopted this 20<sup>th</sup> day of January, 2026.

\_\_\_\_\_  
Rebecca Wyhof Salmon, Mayor

ATTEST:

\_\_\_\_\_  
Bonnie Bryant, City Clerk

\_\_\_\_\_  
Susan Patterson, City Attorney



City of Sanford  
 225 E. Weatherspoon Street  
 Sanford, NC 27330

Dear City of Sanford,

We respectfully request closure of the public parking lot at the corner of Steele and Cole Streets for the following dates and times:

5/15/2026 7:00 AM - 5/16/2026 11:59 PM  
 9/25/2026 7:00 AM - 9/26/2026 11:59 PM

The closures are for the purpose of having food concessions and crafty vendors as part of the Spring 2026 (5/15-5/16) and Fall 2026 (9/25-9/26) Carolina Indie Fests.

Property owners whose staff or customers may make use of the lot at the corner of Steele and Cole have been contacted including businesses on Wicker Street from Horner Blvd to Steele Street, and on Steele Street from Wicker Street to Cole Street. A copy of what was provided to those businesses is attached.

Weather permitting, these will be the 8th and 9th editions of Carolina Indie Fest. This all original music festival is free and open to the public. It is produced by Hugger Mugger Brewing and sponsored by the brewery and a couple dozen generous sponsors from the Sanford community.

The brewery is aware of its financial obligation to tow any cars in the parking lot that remain once the lot is closed. We are grateful for the assistance of multiple City of Sanford employees and Downtown Sanford Inc for helping locate the owners of vehicles. Those efforts helped save vehicle owners a lot of time and money, that was an act of kindness I hope will be repeated in 2026.

Thank you for your consideration.

Cheers,

A handwritten signature in black ink that reads "Tim Emmert". The signature is fluid and cursive, with the first name being more prominent.

Tim Emmert  
 Owner & Founder, Hugger Mugger Brewing  
 229 Wicker Street  
 Sanford, NC 27330  
 tim@huggermuggerbrewing.com



### **Public Parking Lot Closures in 2026**

The public parking lot at the corner of Steele & Cole Streets will be **closed** on the following days and times in 2026 for the fifth annual Brews, Blues & BBQ and Carolina Indie Fest (Spring & Fall):

4/17/2026 5:00 PM - 4/18/2026 10:00 PM  
5/15/2026 7:00 AM - 5/16/2026 11:59 PM  
9/25/2026 7:00 AM - 9/26/2026 11:59 PM

There will be no street closures for these events, only the public parking lot is affected. Parking on Cole Street between Steele and Horner is not marked for hourly parking and is the closest available alternative to parking in this lot.

We will work with City police and Downtown Sanford Inc to notify car owners. Fliers may be placed under windshield wipers the week of these events as a reminder, the City will also provide notice with signage.

There were no cars towed prior to either event since 2023 and our hope is we can repeat this in the future. BUT, if cars remain parked in the lot at the time of the closures listed above then we will be towing those vehicles to the impound lot at Paradise Towing. Paradise Towing may be contacted at (919) 774-0999 to arrange a time to retrieve it.

Thank you for your attention - if you have any questions please contact Tim Emmert by email at [tim@huggermuggerbrewing.com](mailto:tim@huggermuggerbrewing.com).



December 1, 2025

Dear Mrs. Jeffries,

Downtown Sanford Inc. writes this letter in support of the Blues, Brew and BBQ to be held April 17 and 18, 2026, as well as for both Carolina Indie Fest events scheduled for May 15-16 and September 25-26, 2026. Hugger Muggger is requesting that the Cole Street city parking lot be used for these events for safety and overflow purposes, as well as for food trucks and pig cookers.

Last year, the BBQ cookoff needed the parking lot to safely spread out the cookers to ensure proper distance during the long period the meat needed to be smoked. Last year's Carolina Indie Fest was extremely successful, leading patrons to place their chairs in the top parking lot to sit and enjoy the festivities, not to mention it has proved to be a fantastic location for vendors and a food truck rodeo.

We understand the displacement of the Wilrik residents is a challenge. We will work with Paige Burgess (manager of the Wilrik) and Tim Emmert (owner of HM) to ensure the residents are aware of the events and that we encourage them to partake in the festivities. In addition, we can help to make sure the designated, accessible parking is marked for their use.

The community-welcoming events taking place at Hugger Muggger are good for all the businesses in the downtown area. They encourage visitors to discover our downtown as well as the overflow trickles to shopping and dining in all the establishments in the central business district. These events offer family-friendly fun for all, and the commitment to hosting quality events that are safe and welcoming is just one more reason our visitor base continues to increase each year.

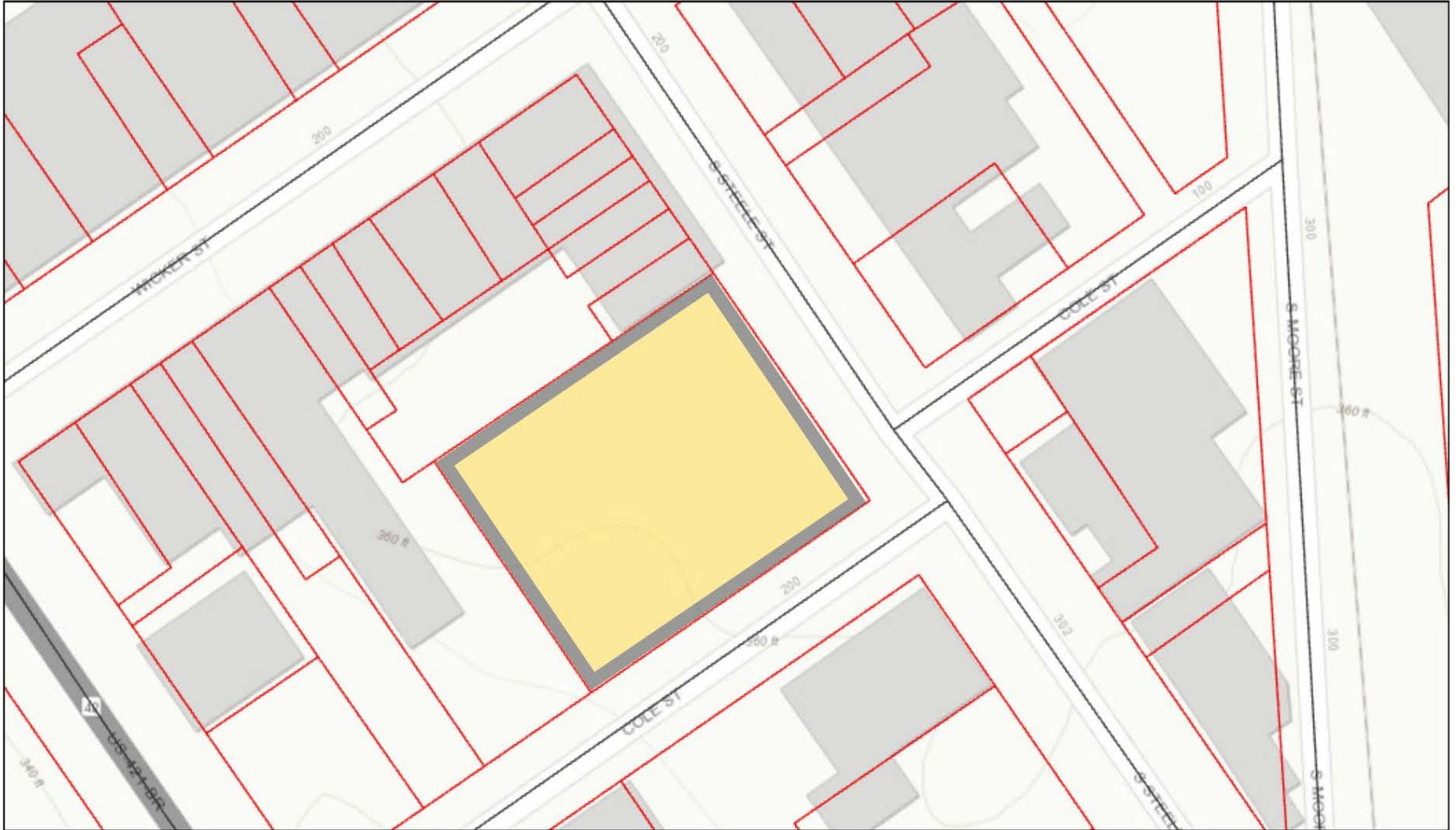
We thank Tim Emmert and David McComas for their dedication to attracting visitors and the Sanford community to events at Hugger Muggger in addition to their partnership for helping drive success in all of downtown Sanford.

Sincerely,

Kelli Laudate  
Executive Director

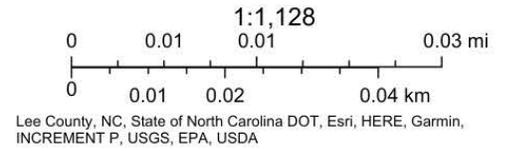
Visit Sanford Welcome Center  
229 Carthage Street  
Sanford, NC 27330  
919-718-4659 x1400

# Carolina Indie Fest 9/25/26 7:00am-9/26/26 11:45pm



12/12/2025, 8:12:26 AM

-  CountyBoundary
-  Parcels
-  Sanford
-  Streets





# CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY) 1/8/2026
-------------------------------

**THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.**

**IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must have ADDITIONAL INSURED provisions or be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).**

<b>PRODUCER</b> Insurance Service of Asheville 408 Executive Park Asheville NC 28801-2429	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td colspan="2"><b>CONTACT NAME:</b> Grant Bowles</td> </tr> <tr> <td><b>PHONE (A/C. No. Ext):</b> 828-253-1668</td> <td><b>FAX (A/C. No):</b> 828-258-8164</td> </tr> <tr> <td colspan="2"><b>E-MAIL ADDRESS:</b> certificates@isa-avl.com</td> </tr> </table> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th style="text-align: center;">INSURER(S) AFFORDING COVERAGE</th> <th style="text-align: center;">NAIC #</th> </tr> <tr> <td><b>INSURER A :</b> The Cincinnati Specialty Underwriters Insurance Co</td> <td style="text-align: center;">13037</td> </tr> <tr> <td><b>INSURER B :</b></td> <td></td> </tr> <tr> <td><b>INSURER C :</b></td> <td></td> </tr> <tr> <td><b>INSURER D :</b></td> <td></td> </tr> <tr> <td><b>INSURER E :</b></td> <td></td> </tr> <tr> <td><b>INSURER F :</b></td> <td></td> </tr> </table>	<b>CONTACT NAME:</b> Grant Bowles		<b>PHONE (A/C. No. Ext):</b> 828-253-1668	<b>FAX (A/C. No):</b> 828-258-8164	<b>E-MAIL ADDRESS:</b> certificates@isa-avl.com		INSURER(S) AFFORDING COVERAGE	NAIC #	<b>INSURER A :</b> The Cincinnati Specialty Underwriters Insurance Co	13037	<b>INSURER B :</b>		<b>INSURER C :</b>		<b>INSURER D :</b>		<b>INSURER E :</b>		<b>INSURER F :</b>	
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**COVERAGES** **CERTIFICATE NUMBER: 1867167528** **REVISION NUMBER:**

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	<b>UMBRELLA LIAB</b> <input type="checkbox"/> OCCUR <b>EXCESS LIAB</b> <input type="checkbox"/> CLAIMS-MADE DED <input type="checkbox"/> RETENTION \$						EACH OCCURRENCE \$ AGGREGATE \$ \$
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**DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)**  
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<b>CERTIFICATE HOLDER</b>  City of Sanford 225 E. Weatherspoon St. Sanford NC 27330	<b>CANCELLATION</b>  SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.  AUTHORIZED REPRESENTATIVE 
---	--

**AN ORDINANCE AMENDING THE ANNUAL OPERATING BUDGET  
OF THE CITY OF SANFORD FY 2025-2026**

BE IT ORDAINED by the City Council of the City of Sanford, North Carolina in regular session assembled.

Section 1: The following amounts are hereby amended to ordinance 2025-065 per G. S. 159-15 for the continued operation of the City of Sanford, its government, and activities for the balance of the fiscal year 2025-2026.

**UTILITY FUND  
TRANSFER OF FUNDS**

**Transfer from the following accounts:**

**Transfer to the Following accounts:**

303045 54000	Chatham Retained Earnings	525,000	30096650 00000	Contribution to Capital Project	525,000
--------------	---------------------------	---------	----------------	---------------------------------	---------

**Total Appropriation** \$ 525,000

Section 2. This ordinance shall be in full force and effective from and after the date of its adoption.

ADOPTED this, the 20th day of January 2026.

\_\_\_\_\_  
Rebecca Wyhof Salmon, Mayor

ATTEST:

\_\_\_\_\_  
Bonnie Bryant, City Clerk

**2025-2026 BUDGET ORDINANCE AMENDMENT**

**UTILITY FUND**

**Transfer from the Following Funds:- results in decreasing of budget**

Chatham Retained Earnings                      525,000    To appropriate funds for items listed below

**Transfer to the Following funds:- results in increasing the budget**

Utility Fund Contribution    525,000    To budget for Transfer to Capital Project for Durham Transmission Main Bypass Project and Renaissance Drive Looping Watermain Project



## MEMORANDUM

To: Beth Kelly, Asst. City Manager

From: Jason Bertoncino, Director of Engineering *JAB*

Re: Durham Transmission Main Bypass Project

Date: January 8, 2026

This memorandum is to provide you with a brief history, need and description for the project. This project was originated by Chatham County prior to the merger and agreed to be completed by TriRiver Water following the merger. As such it is listed on our approved CIP plan for \$1,200,000 in FY 26/27. The original project was designed with a considerable larger construction scope. As TriRiver, we were able to review the project and significantly reduce the construction.

The project is intended to alleviate water pressure concerns for several customers in the Old Farrington Road area.

We are requesting \$175,000 be budgeted in FY 25/26 for redesign and design contingency to facilitate the new reduced project scope.

Please let me know if you have any questions or comments regarding this matter.

225 E. Weatherspoon Street  
PO Box 3729  
Sanford, NC 27331

**CAPITAL PROJECT ORDINANCE**

**DURHAM TRANSMISSION MAIN BYPASS PROJECT**

**BE IT ORDAINED** by the City Council of the City of Sanford, North Carolina that, pursuant to Section 13.2 of Chapter 159 of the General Statutes of North Carolina, the following capital project is hereby approved:

Section 1: This project is intended to alleviate water pressure concerns for several customers in the Old Farrington Road area. This project is to be financed through the Chatham County Utility Fund.

Section 2: The officers of this unit are hereby directed to proceed with the capital project within the terms of the grant funds, reserve funds, and/or debt issuance and the budget contained herein.

Section 3: The following amounts are appropriated for the project:

Durham Transmission Main Bypass Project \$ 175,000

Section 4: The following revenues are anticipated to be available to complete this project:

Contribution from Utility Fund – Chatham \$ 175,000

Section 5: The Finance Officer is hereby directed to maintain within the Capital Project Fund sufficient specific detailed accounting records to satisfy the requirements of the loan documents.

Section 6: Funds may be advanced from the Utility Fund for the purpose of making payments as due. Reimbursement request should be made to the lending institution in an orderly and timely manner.

Section 7: The Finance Officer is directed to report, on a quarterly basis, on the financial status of each project element in Section 3 and on the total revenues received and claimed.

Section 8: The Finance Officer is directed to include in the annual budget information projects authorized by previously adopted project ordinances which will have appropriations available for expenditure during the budget year.

Section 9: Copies of this capital project ordinance shall be furnished to the Clerk to the City Council and the Finance Officer for direction in carrying out this project.

ADOPTED this, the 20th day of January, 2026.

\_\_\_\_\_  
Rebecca Wyhof Salmon, Mayor

ATTEST:

\_\_\_\_\_  
Bonnie Bryant, City Clerk



## MEMORANDUM

To: Beth Kelly, Asst. City Manager

From: Jason Bertoncino, Director of Engineering

A handwritten signature in dark ink, appearing to read "JAB", is written over the printed name of Jason Bertoncino.

Re: Renaissance Drive Looping Watermain Project

Date: January 8, 2026

This memorandum is to provide you with a brief history, need and description for the project. This project was originated by Chatham County prior to the merger and agreed to be completed by TriRiver Water following the merger. As such it is listed on our approved CIP plan in FY 25/26 for \$343,000 and \$1,419,000 in FY 26/27.

The project is intended to create a looping watermain system to allow water to be delivered in multiple directions to mitigate outages that could occur with line breaks or similar system failures.

We are requesting \$350,000 be budgeted in FY 25/26 for design and design contingency to facilitate the proposed project. At this time, we do not believe this will directly impact the overall project budget.

Please let me know if you have any questions or comments regarding this matter.

225 E. Weatherspoon Street  
PO Box 3729  
Sanford, NC 27331

**CAPITAL PROJECT ORDINANCE**

**RENAISSANCE DRIVE LOOPING WATERMAIN PROJECT**

**BE IT ORDAINED** by the City Council of the City of Sanford, North Carolina that, pursuant to Section 13.2 of Chapter 159 of the General Statutes of North Carolina, the following capital project is hereby approved:

Section 1: This project is intended to create looping watermain systems to allow water to be delivered in multiple directions to mitigate outages that could occur with line breaks or similar system failures. This project is to be financed through the Chatham County Utility Fund.

Section 2: The officers of this unit are hereby directed to proceed with the capital project within the terms of the grant funds, reserve funds, and/or debt issuance and the budget contained herein.

Section 3: The following amounts are appropriated for the project:

Renaissance Drive Looping Watermain Project \$ 350,000

Section 4: The following revenues are anticipated to be available to complete this project:

Contribution from Utility Fund – Chatham \$ 350,000

Section 5: The Finance Officer is hereby directed to maintain within the Capital Project Fund sufficient specific detailed accounting records to satisfy the requirements of the loan documents.

Section 6: Funds may be advanced from the Utility Fund for the purpose of making payments as due. Reimbursement request should be made to the lending institution in an orderly and timely manner.

Section 7: The Finance Officer is directed to report, on a quarterly basis, on the financial status of each project element in Section 3 and on the total revenues received and claimed.

Section 8: The Finance Officer is directed to include in the annual budget information projects authorized by previously adopted project ordinances which will have appropriations available for expenditure during the budget year.

Section 9: Copies of this capital project ordinance shall be furnished to the Clerk to the City Council and the Finance Officer for direction in carrying out this project.

ADOPTED this, the 20th day of January, 2026.

\_\_\_\_\_  
Rebecca Wyhof Salmon, Mayor

ATTEST:

\_\_\_\_\_  
Bonnie Bryant, City Clerk

**RESOLUTION AUTHORIZING THE ADVERTISEMENT  
OF AN ELECTRONIC AUCTION TO SELL  
CERTAIN PERSONAL PROPERTY  
OF THE CITY OF SANFORD**

**WHEREAS**, on behalf of the City Council and pursuant to **G.S. 160A-270**, the city manager will hold an electronic auction to sell certain personal property belonging to the City, as shown on the attached sheet, and any additions or deletions thereto; and,

The City of Sanford will be holding an electronic surplus auction. This auction is administered through GovDeals and will start February 9, 2026 at 8 AM.

The auction will contain a variety of surplus vehicles and equipment no longer used by the city. The auction includes:

TV's/projectors, printers, laptops/tablets/computers, Fire Dept equipment, exercise equipment, office desks, misc. office furniture & decor, pick-up truck tool box, map hangers, sporting accessories (golf), battery tester, sanitizer dispenser, small engine equipment, sedans, pick-up trucks, sports utility truck (SUV), heavy equipment.

**WHEREAS**, the City Council proposes to accept the offer of the highest responsible bidder.

**NOW, THEREFORE, BE IT RESOLVED** by the City Council of the City of Sanford that:

1. The Sanford City Manager or his designee is authorized to sell at electronic auction certain personal property belonging to the city, as shown on the attached sheet, and any addition or deletions there to and to accept the offer of the highest responsible bidder.
2. The electronic auction will begin at 8 AM on February 9, 2026 and end at 8 PM on February 26, 2026. Surplus auction will be on the website [govdeals.com](http://govdeals.com)
3. The city clerk shall cause a notice of this resolution to be published in accordance with **G.S. 160A-270**.
4. Terms for the electronic auction are that payment in full is due no later than five (5) business days from the time and date of buyer's certificate. Payment must be electronically through the GovDeals website.

Acceptable Forms of Payment are:

- Paypal
  - Wire Transfer
  - Visa
  - Master Card
  - American Express
  - Discover
5. All items must be removed within 10 business days from the time and date of issuance of the buyer's certificate. Purchases will be released only upon receipt of payment as specified.
  6. The buyer will make all arrangements and perform all work necessary, including packing,

loading and transportation of the property. Under no circumstances will the City of Sanford assume responsibility for packing, loading, or shipping. Property may be removed between the hours of 9:00 AM and 3:00 PM., Monday through Thursday, excluding legal Holidays.

- 7. The City Council reserves the right to reject any or all bids.

**ADOPTED this 20<sup>th</sup> of January, 2026**

\_\_\_\_\_  
Rebecca Wyhof Salmon, Mayor

**ATTEST:**

\_\_\_\_\_  
Bonnie Bryant, City Clerk

\_\_\_\_\_  
Susan Patterson, City Attorney

**GOV DEALS AUCTION**

1. 1 Lot of TV & Projector
2. 1 Lot of Designjet T790 Printer
3. 1 Lot of golf club headcovers
4. 1 Lot of laptops/tablets/misc. office supplies
5. 1 Lot of Fire Dept equipment and wiring
6. 1 Lot of stair stepper
7. 1 Lot of small engine equipment
8. 1 Lot of small engine equipment
9. 1 Lot of office desks
10. 1 Lot of office bookshelves & file cabinets
11. 1 Lot of map hangers
12. 1 Lot of pickup truck tool box
13. 1 Lot of Fire Department equipment
14. 1 Lot red office chairs
15. 1 Lot yellow office chair
16. 1 Lot of office chairs with couch
17. 1 Lot picture
18. 1 Lot battery tester
19. 1 Lot hand sanitizer dispenser
20. 1 Lot of computer monitors and misc. computer components
21. 1 Lot of servers with misc. computer components
22. 1 Lot of computer printers
23. 1 Lot of misc. computer components
24. 2014 Walker Mower S/N:127778
25. 2011 Club Car S/N: RC1206-260669
26. 2016 Hustler S/N:16024324
27. 2013 Hustler S/N:12101012
28. 2017 Hustler S/N:17043408
29. 2021 Dodge Charger Vin#2C3CDXATXMH529738
30. 2021 Dodge Charger Vin#2C3CDXAT1MH529739
  
31. 2021 Dodge Charger Vin#2C3CDXAT9MH529746
32. 2021 Dodge Charger Vin#2C3CDXAT2KH558566

33. 2021 Dodge Charger Vin#2C3CDXAT5KH558559
34. 2021 Dodge Charger Vin#2C3CDXAT1KH558560
35. 2008 Chevrolet Impala Vin#2G1WS553681293724
36. 2010 Chevrolet Impala Vin#2G1WD5EM5A1178346
37. 2011 Chevrolet Tahoe Vin#1GNSCAE03BR349352
38. 2012 Dodge Charger Vin#2C3CDXAT0CH201498
39. 1994 Ford Flusher Truck Vin#1FDWF80C5SVA01387
40. 2014 International 4300 Vin#1HTMMAAR3EH024071
41. 2015 Ford F-350 Vin#1FDRF3G64FED10161
42. 2015 Ford F-150 Vin#1FTMF1C87FKD18153



# Sanford Fire Department

PO Box 3729  
Sanford, NC 27331-3729  
[www.sanfordnc.net](http://www.sanfordnc.net)

(P) 919-775-8313  
(F) 919-708-5492  
sanfordfire@sanfordnc.net



## MEMORANDUM

TO: Hal Hegwer, City Manager and Sanford City Council  
FROM: Matthew Arnold, Fire Chief  
DATE: January 20, 2026  
RE: Grant Funding Received – Firehouse Subs Foundation

The Fire Department has received notice of a grant award from the Firehouse Subs Foundation in the amount of \$21,700. There is no funding match required. This grant will fund the purchase of 12 new AED devices, which will ensure that all fire department vehicles are equipped with these lifesaving tools. This will replace several end-of-life units as well as providing equipment for vehicles that have not had them in the past.

At this time, we only need a motion to accept the grant funds. Further direction will be available from the foundation in the near future as to whether the AED’s will be direct purchase by Firehouse Subs or via a reimbursement through our normal chain.

EnerGov Case #: \_\_\_\_\_

**\$750 FEE**

# SANFORD / LEE COUNTY / BROADWAY

## CONDITIONAL ZONING MAP AMENDMENT APPLICATION



Sanford/Lee County Community Development Dept. 115 Chatham Street, Sanford, NC 27330

**Contact Person:** Amy McNeill, Senior Planner at amy.mcneill@sanfordnc.net or (919) 718-4656, ext. 5397

This application is intended for the conditional rezoning of a site to allow particular land uses to be established in accordance with specific standard and conditions pertaining to each individual development project.

**Type 1 Conditional Zoning** is intended for an applicant who seeks to create a stand-alone district with its own unique conditions, under which a property owner has the freedom to create his/her own unique list of permitted uses and design standards.

**Type 2 Conditional Zoning** is intended for applicants who seek to place additional conditions upon an existing, equivalent conventional general use zoning district. This rezoning is ideal for applicants who would like to reduce or narrow the permitted uses available for a particular property or impose a higher level of design standards than that which exists within an equivalent general use zoning district.

A **site plan and/or subdivision plan** illustrating the specific land uses, design elements, and other characteristics of the development is required.

Jurisdiction:  CITY OF SANFORD       LEE COUNTY       TOWN OF BROADWAY

Applicant Name: Michael J. Kane, P.E. of Atwell, LLC d/b/a Atwell, PLLC

Applicant Mailing Address: 209 N Salem St, Ste 220 Apex, NC 27502

Applicant Phone: 919 249-8587      Applicant Email: \_\_\_\_\_

Property Owner Name & Address (if different from applicant): Centerpoint Investments, LLC  
PO Box 1897, Apex, NC 27502

Location of Subject Property: 0 & 2813 Rosser Rd, 3103 & 3107 S Horner Blvd,

Lee County Parcel ID (PIN): 9652-90-4777-00, 9652-90-~~5390~~-00, 9661-09-2400-00, 9661-08-9921-00

Total Acreage of Site: 36.9 acres      Existing Land Use(s): 5359 (AJMc) Vacant

Zoning Classification:      Current: Ashby Village CZ      Requested: Ashby Village CZ (amendment)

Reason(s) for Requesting a Zoning Map Amendment (Rezoning): To provide more detail to the O&I and C-2 (Village Concept) portions of the approved conditional rezoning. This document will set the conditions for development including infrastructure improvements, allowable uses and revisions to the UDO that set development parameters within the C-1 (Village Concept) and O&I area of the Ashby Village Zoning District. Upon approval of this conditional rezoning amendment, development plans shall not require the approval of Sanford City Council prior to issuance of development permits so long as development adheres to conditions placed in this document.

Describe in detail any additional conditions of development proposed as part of the Conditional Zoning District. **Conditions may be listed on additional, separate sheets, if necessary. Additionally, a scaled site plan and/or subdivision plan shall be submitted illustrating all conditions as described in the text.**

LAND USES *Provide specific details on what land uses are explicitly permitted or prohibited.*

See sheets C7 & C8 of approved concept plan for conditions for C-1 (Village Concept) and O&I areas.

DENSITY *For residential development, how many dwelling units per acre are proposed.*

N/A

VEHICULAR ACCESS *Parking lots, driveway access, street design.*

See sheets C5 & C6 of approved concept plan for proposed public and private streets and public improvements to S Horner Blvd.

LANDSCAPING *Perimeter buffers, street yard and parking lot plantings, street trees.*

See sheets C7 & C8 of approved concept plan for conditions for C-1 (Village Concept) and O&I areas. Development to follow requirements of the UDO except for the specific revisions listed on C7 & C8 regarding buffer yards and street yards.

OPEN SPACE *Areas for passive and active recreation, common areas, or site amenities.*

See sheets C7 & C8 of approved concept plan for conditions for C-1 (Village Concept) and O&I areas. Additional standards listed for Outdoor space.



I hereby acknowledge that the information contained herein is true. It is further understood that this application will be reviewed for completeness and accuracy and that it shall not be scheduled for official considerations until all required contents are submitted in proper form to the Sanford/Lee County Community Development Department. Also, by submitting this Conditional Zoning application, I am voluntarily requesting that restrictions on the use of land and/or zoning conditions of development be placed upon the subject property as included in this petition.

Michael J. Kane Atwell, LLC d/b/a Atwell, PLLC 11/28/25  
Applicant (Sign & Print) Michael J. Kane Date

Anil Chandarana Centerpoint Investments, LLC 11/28/2025  
Property Owner (Sign & Print) Anil Chandarana Date

\_\_\_\_\_  
Property Owner (Sign & Print) Date

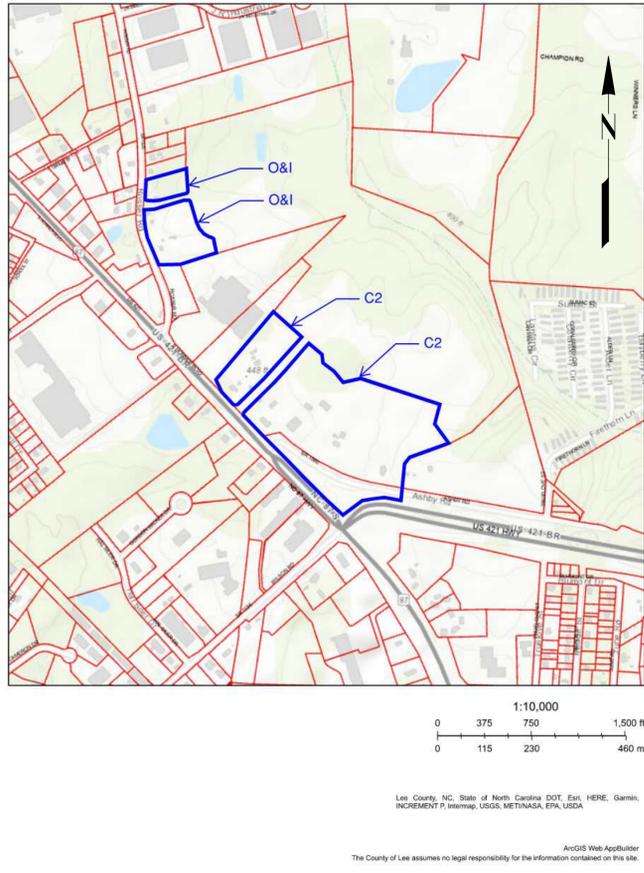
**REQUIRED ATTACHMENTS / SUBMITTALS**

- A) A completed rezoning application. Incomplete applications / submittals will not be processed.
- B) Twelve (12) copies of all plans and supporting documentation to be included in the agenda packet for board review.
- C) Approval letter from the Sanford/Lee County/Broadway Technical Review Committee (TRC) verifying that the plans have been reviewed/approved to move forward with a rezoning request.
- D) A \$750.00 application fee, payable to the City of Sanford, is required before processing the application.
- E) The submittal deadline is the first day of each month at 12:00pm/noon which enables the rezoning to be heard the following month (pending space on that month's agenda). The applicant will be notified of the date of their public hearing once the application has been deemed complete.
- F) If the exterior boundary of the area to be rezoned does not follow existing property boundaries, then the applicant shall be required to submit a metes and bounds (legal) description describing the rezoning area.
- G) No substantiative changes may be made to an application once it has been submitted. If changes are necessary, the applicant must submit a new application and request the prior application be voided.

**STAFF USE ONLY**

Date Received: \_\_\_\_\_ Fee Paid: \_\_\_\_\_ Staff Signature: \_\_\_\_\_

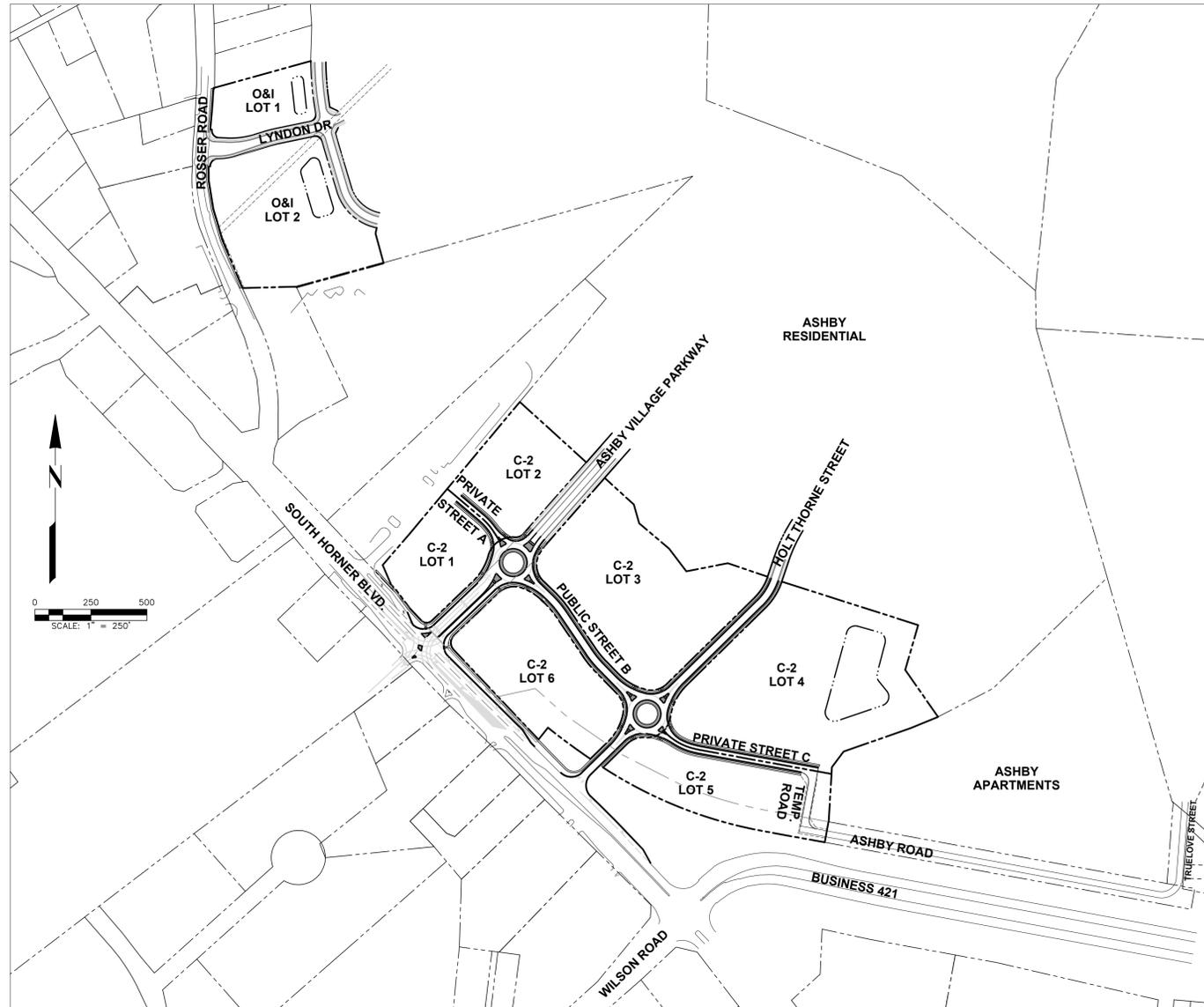
VICINITY MAP



# CONDITIONAL REZONING AMENDMENT TO ORD-2021-92-CZ ASHBY VILLAGE COMMERCIAL AND OFFICE PARK SANFORD, NORTH CAROLINA

**APPROVED**  
**TRC CONCEPT PLAN**

APPROVED 11/06/25



**PROJECT OVERVIEW**  
SCALE: 1" = 250'

**CONDITIONAL REZONING AMENDMENT NOTES**

1. THIS DOCUMENT AND SUBSEQUENT APPROVALS BY THE CITY OF SANFORD PLANNING BOARD AND CITY COUNCIL SHALL SERVE AS A CONDITIONAL REZONING AMENDMENT FOR THE CONDITIONAL REZONING FOR ASHBY VILLAGE CONDITIONAL ZONING DISTRICT THAT WAS APPROVED ON SEPTEMBER 7, 2021 AND IDENTIFIED AS ORD-2021-92-CZ.
2. THIS DOCUMENT AND SUBSEQUENT APPROVALS BY THE CITY OF SANFORD PLANNING BOARD AND CITY COUNCIL SHALL ONLY APPLY TO THE AREAS DESIGNATED AS COMMERCIAL (C-2 VILLAGE CONCEPT) AND O&I AS IDENTIFIED ON EXHIBIT B OF APPROVED ORD-2021-92-CZ.
3. THIS DOCUMENT WILL SET CONDITIONS FOR DEVELOPMENT INCLUDING INFRASTRUCTURE IMPROVEMENTS, ALLOWABLE USES AND REVISIONS TO THE UDO THAT SET DEVELOPMENT PARAMETERS WITHIN THE COMMERCIAL (C-2 VILLAGE CONCEPT) AND O&I AREA OF THE ASHBY VILLAGE ZONING DISTRICT.
4. UPON APPROVAL OF THIS CONDITIONAL REZONING AMENDMENT, DEVELOPMENT PLANS SHALL NOT REQUIRE THE APPROVAL OF SANFORD CITY COUNCIL PRIOR TO THE ISSUANCE OF DEVELOPMENT PERMITS SO LONG AS DEVELOPMENT ADHERES TO CONDITIONS PLACED IN THIS DOCUMENT.
5. LOTS AS SHOWN MAY BE FURTHER DIVIDED FROM ONE TO UP TO FIVE LOTS WITH SUBSEQUENT ADMINISTRATIVE SITE PLAN AND MINOR SUBDIVISION PLAT SUBMITTALS.

**ASHBY ROAD CLOSURE SEQUENCE**

1. A CONNECTION FROM SOUTH HORNER BLVD TO ASHBY ROAD AND TRUELOVE STREET SHALL BE MAINTAINED AT ALL TIME.
2. ASHBY ROAD RIGHT-OF-WAY WAS TRANSFERRED FROM NCDOT TO THE CITY OF SANFORD ON JULY 9, 2025.
3. DEVELOPER SHALL CONSTRUCT PUBLIC STREET B AND PRIVATE STREET C FROM ASHBY VILLAGE PARKWAY TO ASHBY ROAD AS SHOWN ON THESE PLANS.
4. ONCE CONNECTION IS MADE, THE REMAINING ASHBY ROAD AND INTERSECTION OF ASHBY ROAD AND SOUTH HORNER BLVD. CAN BE REMOVED.

**SHEET INDEX**

- |        |                                     |
|--------|-------------------------------------|
| C1     | COVER SHEET                         |
| C2     | APPROVED REZONING                   |
| C3     | COMMERCIAL C2 EXISTING CONDITIONS   |
| C4     | O&I EXISTING CONDITIONS             |
| C5     | COMMERCIAL C2 LAYOUT                |
| C6     | O&I LAYOUT                          |
| C7     | COMMERCIAL C2 ZONING CONDITIONS     |
| C8     | O&I ZONING CONDITIONS               |
| C9-C10 | ARCHITECTURAL RENDERING / MATERIALS |

**PROPERTY OWNER**

CENTERPOINT INVESTMENTS, LLC  
P.O. BOX 1897  
APEX NC 27502  
310-962-1104  
NORTHSTARPRO2023@GMAIL.COM

**ENGINEER**

ATWELL, LLC  
209 NORTH SALEM STREET  
SUITE 220  
APEX NC 27502  
919-249-8587  
MICHAEL.KANE@ATWELL.COM

**PROJECT MANAGER**

DEVELOPMENT AND CONSTRUCTION INSIGHT, LLC  
2054 KILDAIRE FARM ROAD  
CARY NC 27518  
919-473-3385  
JACKSON.HENDRICKS@DCINSIGHTLLC.COM

ASHBY VILLAGE COMMERCIAL AND OFFICE PARK  
CONDITIONAL REZONING AMENDMENT

SANFORD, NC  
CONDITIONAL REZONING AMENDMENT

COVER SHEET

**ATWELL**



209 N SALEM ST, STE 220, APEX, NC 27502  
PH 919 249-8587 WWW.ATWELL.COM  
ATWELL, LLC 6/16/20 ATWELL, PLLC P-2380



DATE  
OCTOBER 14, 2025

ISSUED FOR  
TRC REVIEW

SHEET NO.

**C1**

**AN ORDINANCE AMENDING THE OFFICIAL ZONING MAP OF THE CITY OF SANFORD, NORTH CAROLINA**

WHEREAS, a request to amend the Official Zoning Map has been received from Ashby Village, LLC to rezone 19 adjoining tracts of land totaling 153.4 ± acres with frontage on NC Hwy 87 S, US Hwy 421, Rosser Road, and Broadway Road, identified as Lee County Tax Parcels 9662-00-2971-00, 9652-90-4508-00, 9652-90-6299-00, 9662-00-1085-00 (portion of), 9661-09-1785-00 (portion of), 9662-11-7367-00 (portion of), 9661-18-9674-00, 9661-18-6812-00, 9661-18-1562-00, 9661-09-4453-00, 9661-19-7499-00, 9661-09-1700-00, 9661-09-0175-00, 9661-08-2972-00, 9661-08-4963-00, 9661-19-0040-00, 9661-08-8605-00, 9662-10-3327-00, and 9661-09-2049-00 as depicted on Lee County Tax Maps 9642.02, 9642.04, 9634.01 and 9634.03, from General Commercial (C-2), Residential Single-family (R-20), Sanford Marketplace District Conditional Zoning District (SMDCZ) and Light Industrial (LI) to the Ashby Village Conditional Zoning District to allow the development of a commercial and residential development as illustrated on the Ashby Village Conceptual Development Plan submitted as part of the application and with the conditions submitted as part of the rezoning application; and

WHEREAS, said request has been presented to the Planning Board of the City of Sanford; and

WHEREAS, the City Council of the City of Sanford conducted a public hearing on August 17, 2021 to receive citizen input on the requested zoning map amendment; and

WHEREAS, the City Council of the City of Sanford approves the request to amend the Official Zoning Map of the City of Sanford;

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF SANFORD:

The Official Zoning Map is hereby amended to rezone 19 adjoining tracts of land totaling 153.4 ± acres with frontage on NC Hwy 87 S, US Hwy 421, Rosser Road, and Broadway Road, identified as Lee County Tax Parcels 9662-00-2971-00, 9652-90-4508-00, 9652-90-6299-00, 9662-00-1085-00 (portion of), 9661-09-1785-00 (portion of), 9662-11-7367-00 (portion of), 9661-18-9674-00, 9661-18-6812-00, 9661-18-1562-00, 9661-09-4453-00, 9661-19-7499-00, 9661-09-1700-00, 9661-09-0175-00, 9661-08-2972-00, 9661-08-4963-00, 9661-19-0040-00, 9661-08-8605-00, 9662-10-3327-00, and 9661-09-2049-00 as depicted on Lee County Tax Maps 9642.02, 9642.04, 9634.01 and 9634.03, from General Commercial (C-2), Residential Single-family (R-20), Sanford Marketplace District Conditional Zoning District (SMDCZ) and Light Industrial (LI) to the Ashby Village Conditional Zoning District to allow the development of a commercial and residential development as illustrated on the Ashby Village Conceptual Development Plan submitted as part of the application. See Exhibits A,B, and C included for reference.

2021-92

In making this decision, the City Council of the City of Sanford hereby acknowledges that the request is consistent with the *Plan Sanford* long range land use plan designation of Mixed-Use Activity Center because the proposed project associated with this request would facilitate the development of large-scale integrated mix of uses designed as a single master-planned unit, but contextually integrated into the surrounding development pattern, including mobility linkages with close proximity to highway interchanges and major arterials. It is consistent with the Commercial Corridor designation because there is established commercial development along a high-transportation routes that traditionally has a "strip" type development pattern with connectivity and access improvements typically required for future redevelopment. It also appears to be reasonable and in the public interest given that commercial development is proposed along the front of the site along the busy roadways, which transitions to multi-family and then to single-family residential and the site has access to public water and sewer.

ADOPTED this 7th day of September 2021.

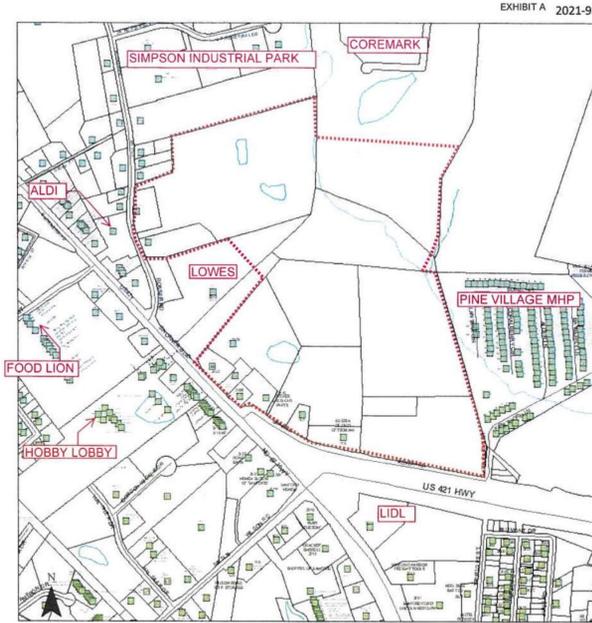
*T. Chet Mann*  
T. Chet Mann, Mayor

ATTEST:  
*Bonnie Davis*  
Bonnie Davis, City Clerk

APPROVED AS TO FORM:

*Susan C. Patterson*  
Susan Patterson, City Attorney

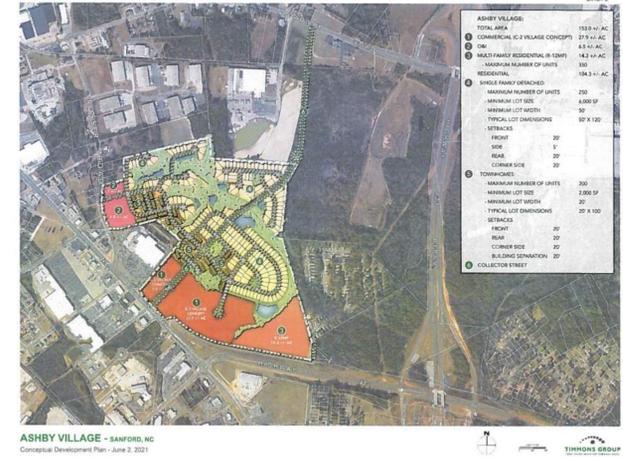
2021-92



**REZONING APPLICATION**  
Application by Ashby Village LLC  
to rezone 19 tracts of land with frontage on Rosser Road and NC Hwy 87 S to the Ashby Village CZ District.

This is a graphic illustration and not a legal document.  
All information is comprised of layers of data that may or may not align correctly.

EXHIBIT A 2021-92



2021-92

**\$750 FEE, CONDITIONAL REZONING** EXHIBIT C 2021-92  
(\$750 total conditional rezoning fee, no standard rezoning fee included with this request.)  
Application No. 2021-0903  
Energov Case No. CZMA-003806-2021

**City of Sanford-Lee County-Town of Broadway SUPPLEMENTAL APPLICATION FOR CONDITIONAL ZONING DISTRICT**  
To be submitted with a Zoning Map Amendment (Rezoning) Application

Circle the Jurisdiction that Applies:  
City of Sanford Lee County Town of Broadway

- Type of Conditional Zoning District (Type 1 or Type 2) Type 1
- Describe in detail the use(s) requested as part of the Conditional Zoning District (use separate sheet if necessary):  
Commercial Village, Office and Institutional uses, Residential uses - Multi-family, Townhomes and Single Family Detached. See the information provided for Item #3 for additional details.
- Describe in detail any additional conditions of development proposed as part of the Conditional Zoning District. Such conditions should include (as applicable):
  - The location on the property of the proposed use(s);
  - The number of dwelling units;
  - The location and extent of supporting facilities such as parking lots, driveways, and access streets;
  - The location and extent of all landscaping areas, buffer areas and other special purpose areas;
  - The timing of development;
  - The location and extent of rights-of-way and other areas to be dedicated for public purposes;
  - Details on architectural features and scale of proposed structures; and
  - The location and extent of any pedestrian elements (sidewalks, trails, etc.).

- Conditions may be listed on additional, separate sheets if necessary. Additionally, a scaled site plan shall be submitted illustrating all conditions as described in the text. All of the subject property is illustrated and labeled on the Conceptual Development Plan.
- C-2 Village Concept & Office & Institutional (O&I) areas would allow non-residential land uses, minimum lot sizes & densities as permitted in the areas indicated for each of these uses.
  - R-12MF would allow multi-family uses (apartments & townhomes) in the indicated areas.
  - Residential areas would allow Single Family Detached & Attached Townhomes as indicated on the concept plan.
  - Single Family Detached lots shall be a minimum lot size of 6,000 sf with minimum lot widths of 50' with the following setbacks for principle structures:
    - Front-20' as measured from the right of way of the public street;
    - Rear-20' as determined by the orientation of the house & rear property line; and
    - Side-5' as measured from the left & right side property lines.
  - All corner lots shall have two front yard setbacks.
  - Attached Townhomes shall have a minimum lot area of 2,000 sf with minimum lot widths of 20' with the following setbacks for principle structures:
    - Front-20' as measured from the right of way of the public street;
    - Rear-20' as determined by the orientation of the house & rear property line; and
    - Building separation of 20'.
  - All corner lots shall have two front yard setbacks. (Continued next page)
4. Signature(s) of Applicant (and Property Owners if different from Applicant).  
*I hereby acknowledge that the information contained herein is true. It is further understood that this application will be reviewed for completeness and accuracy and that it shall not be scheduled for official consideration until all required contents are submitted in proper form to the Sanford-Lee County Community Development Department.*

*Mark Lyczkowski* / MARK LYCHKOWSKI 6-29-21  
Signature (Sign & Print) Date  
*Ray Covington* / RAY COVINGTON 6-29-21  
Signature (Sign & Print) Date  
Signature (Sign & Print) \_\_\_\_\_

Updated 2020-10-27 by AJMc

2021-92

- Conditions continued from previous page:
- 1,800 square foot is the minimum square footage of single family detached homes
  - All single family detached homes and townhomes must include a minimum of 30% stone or brick fronts
  - Every 3rd home must be a different elevation
  - All homes must include at least a single car enclosed garage
  - All single family detached homes must include a dormer or front porch with roof elevation that varies from the main roof line
  - All front and side yards must be sodded
  - Rear yards can be seeded and strawed
  - All driveways must be concrete
  - All homes must have sidewalks to the front door

A detailed site plan/subdivision plat that corresponds with the uses, conditions, design standards, and maximum densities denoted within this application and on the Conceptual Development Plan shall be required to be approved by the Sanford City Council prior to the issuance of development permits for the parcels included within Ashby Village.

2021-92



2054 KILDARE FARM RD., #167 CARY, NC 27518  
www.dciinsight.com

ASHBY VILLAGE COMMERCIAL AND OFFICE PARK  
CONDITIONAL REZONING AMENDMENT  
APPROVED REZONING



209 N SALEM ST, STE 220, APEX, NC 27502  
PH 919 249-8587 WWW.ATWELL.COM  
ATWELL, LLC G/5/G ATWELL, PLLC P-2380



DATE  
OCTOBER 14, 2025

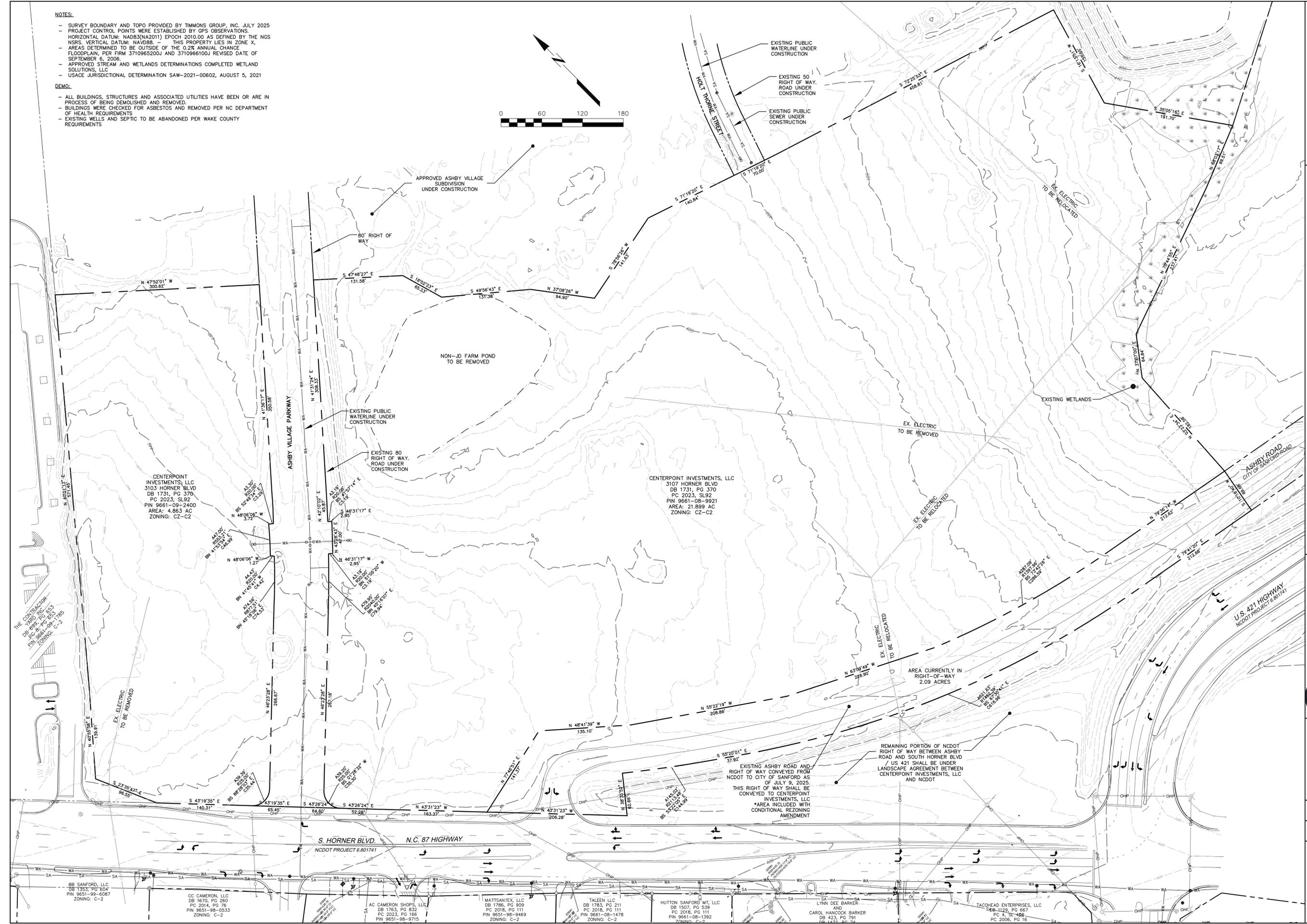
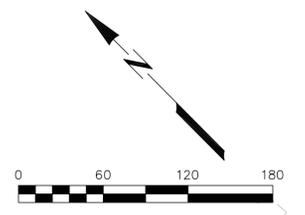
ISSUED FOR  
TRC REVIEW

SHEET NO.

**C2**

- NOTES:**
- SURVEY BOUNDARY AND TOPO PROVIDED BY TIMMONS GROUP, INC. JULY 2025
  - PROJECT CONTROL POINTS WERE ESTABLISHED BY GPS OBSERVATIONS
  - HORIZONTAL DATUM: NAD83(NA2011) EPOCH 2010.00 AS DEFINED BY THE NGS NSRS. VERTICAL DATUM: NAVD88. THIS PROPERTY LIES IN ZONE X.
  - AREAS DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN, PER FIRM 3710965200J AND 3710966100J REVISED DATE OF SEPTEMBER 6, 2006.
  - APPROVED STREAM AND WETLANDS DETERMINATIONS COMPLETED WETLAND SOLUTIONS, LLC
  - USACE JURISDICTIONAL DETERMINATION SAW-2021-00602, AUGUST 5, 2021

- DEMO:**
- ALL BUILDINGS, STRUCTURES AND ASSOCIATED UTILITIES HAVE BEEN OR ARE IN PROCESS OF BEING DEMOLISHED AND REMOVED.
  - BUILDINGS WERE CHECKED FOR ASBESTOS AND REMOVED PER NC DEPARTMENT OF HEALTH REQUIREMENTS
  - EXISTING WELLS AND SEPTIC TO BE ABANDONED PER WAKE COUNTY REQUIREMENTS



**ASHBY VILLAGE COMMERCIAL AND OFFICE PARK  
CONDITIONAL REZONING AMENDMENT**

SANFORD, NC  
CONDITIONAL REZONING AMENDMENT  
**COMMERCIAL C2 EXISTING CONDITIONS**

**ATWELL**



209 N SALEM ST, STE 220, APEX, NC 27502  
PH 919 249-8587 WWW.ATWELL.COM  
ATWELL, LLC 6/16/24 ATWELL, PLLC P-2380



DATE  
OCTOBER 14, 2025

ISSUED FOR  
TRC REVIEW

SHEET NO.

**C3**

2054 KILDARE FARM RD, #167 CARY, NC 27518  
www.dciinsight.com

THE CONTRACTOR:  
DE PARR INC  
PC 98, PG 603  
PIN 9661-09-175  
ZONING: C-2

CENTERPOINT INVESTMENTS, LLC  
3103 HORNER BLVD  
DB 1731, PG 370  
PC 2023, SL92  
PIN 9661-09-2400  
AREA: 4.863 AC  
ZONING: CZ-C2

CENTERPOINT INVESTMENTS, LLC  
3107 HORNER BLVD  
DB 1731, PG 370  
PC 2023, SL92  
PIN 9661-09-3921  
AREA: 21.899 AC  
ZONING: CZ-C2

BB SANFORD, LLC  
DB 1353, PG 604  
PIN 9651-99-6087  
ZONING: C-2

CC CAMERON, LLC  
DB 1670, PG 260  
PC 2014, PG 76  
PIN 9651-98-0533  
ZONING: C-2

AC CAMERON SHOPS, LLC  
DB 1763, PG 832  
PC 2023, PG 166  
PIN 9651-98-9715

MATTSAITEK, LLC  
DB 1786, PG 909  
PC 2018, PG 111  
PIN 9651-98-9469  
ZONING: C-2

TALEN LLC  
DB 1783, PG 211  
PC 2018, PG 111  
PIN 9661-08-1478  
ZONING: C-2

HUTTON SANFORD MT, LLC  
DB 1507, PG 539  
PC 2018, PG 111  
PIN 9661-08-1392  
ZONING: C-2

LYNN DEE BARKER  
AND  
CAROL HANCOCK BARKER  
DB 423, PG 791  
PC 2012, PG 24

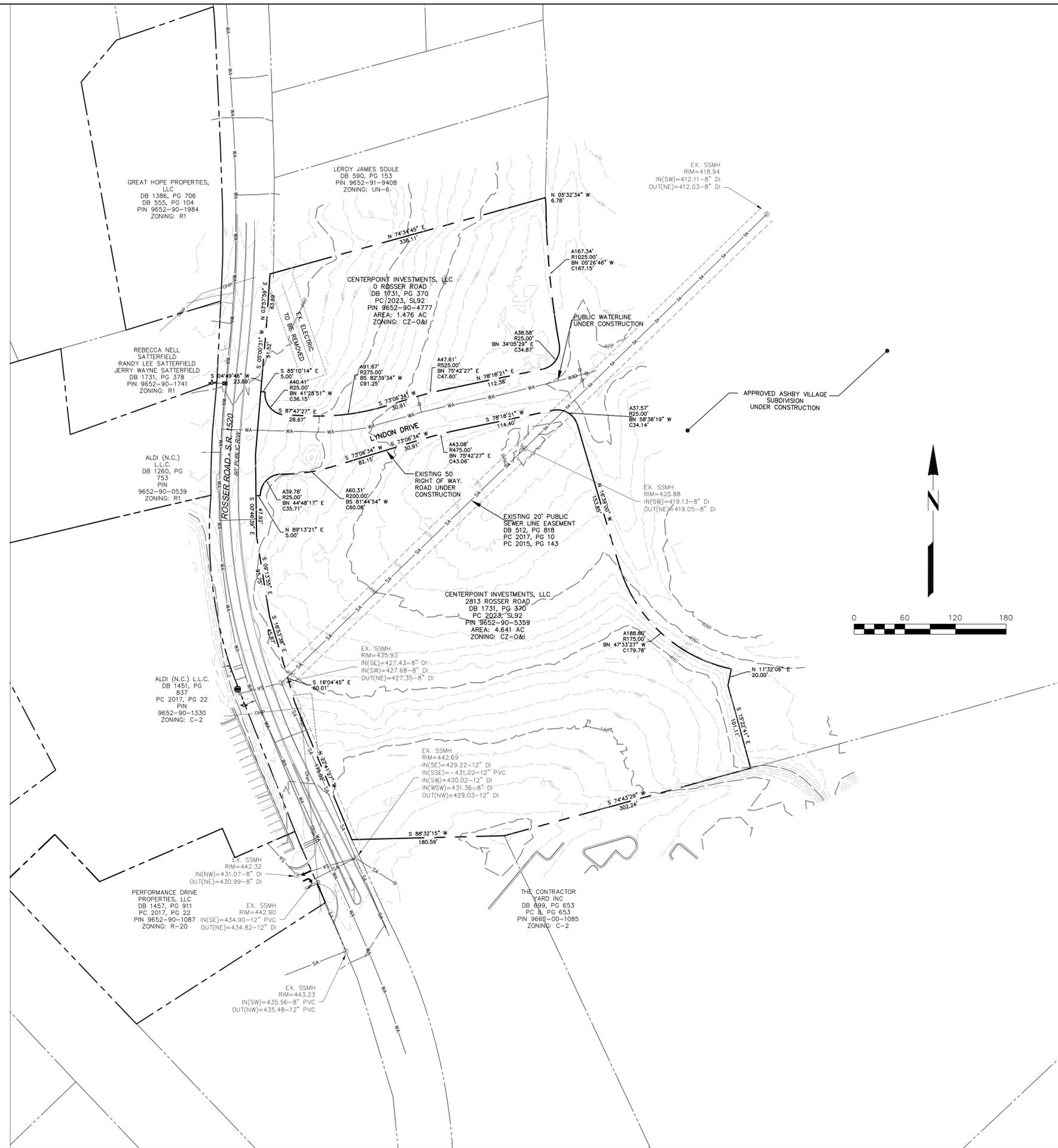
TACOHEAD ENTERPRISES, LLC  
S-68-1129, PG 667  
PC 4, ST-489  
PC 2006, PG 16

NOTES:

- SURVEY BOUNDARY AND TOPO PROVIDED BY TIMMONS GROUP, INC. JULY 2025
- PROJECT CONTROL POINTS WERE ESTABLISHED BY GPS OBSERVATIONS.
- HORIZONTAL DATUM: NAD83(NA2011) EPOCH 2010.00 AS DEFINED BY THE NGS NSRS. VERTICAL DATUM: NAVD83. - THIS PROPERTY LIES IN ZONE X.
- AREAS DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN, PER FIRM 3710965200J AND 3710966100J REVISED DATE OF SEPTEMBER 6, 2006.
- APPROVED STREAM AND WETLANDS DETERMINATIONS COMPLETED WETLAND SOLUTIONS, LLC
- USACE JURISDICTIONAL DETERMINATION SAW-2021-00602, AUGUST 5, 2021

DEMO:

- ALL BUILDINGS, STRUCTURES AND ASSOCIATED UTILITIES HAVE BEEN OR ARE IN PROCESS OF BEING DEMOLISHED AND REMOVED.
- BUILDINGS WERE CHECKED FOR ASBESTOS AND REMOVED PER NC DEPARTMENT OF HEALTH REQUIREMENTS
- EXISTING WELLS AND SEPTIC TO BE ABANDONED PER WAKE COUNTY REQUIREMENTS



**ASHBY VILLAGE COMMERCIAL AND OFFICE PARK  
CONDITIONAL REZONING AMENDMENT**

**ATWELL**



DATE: OCTOBER 14, 2025  
ISSUED FOR: TRC REVIEW  
SHEET NO.:

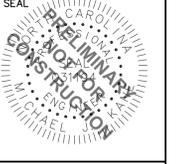
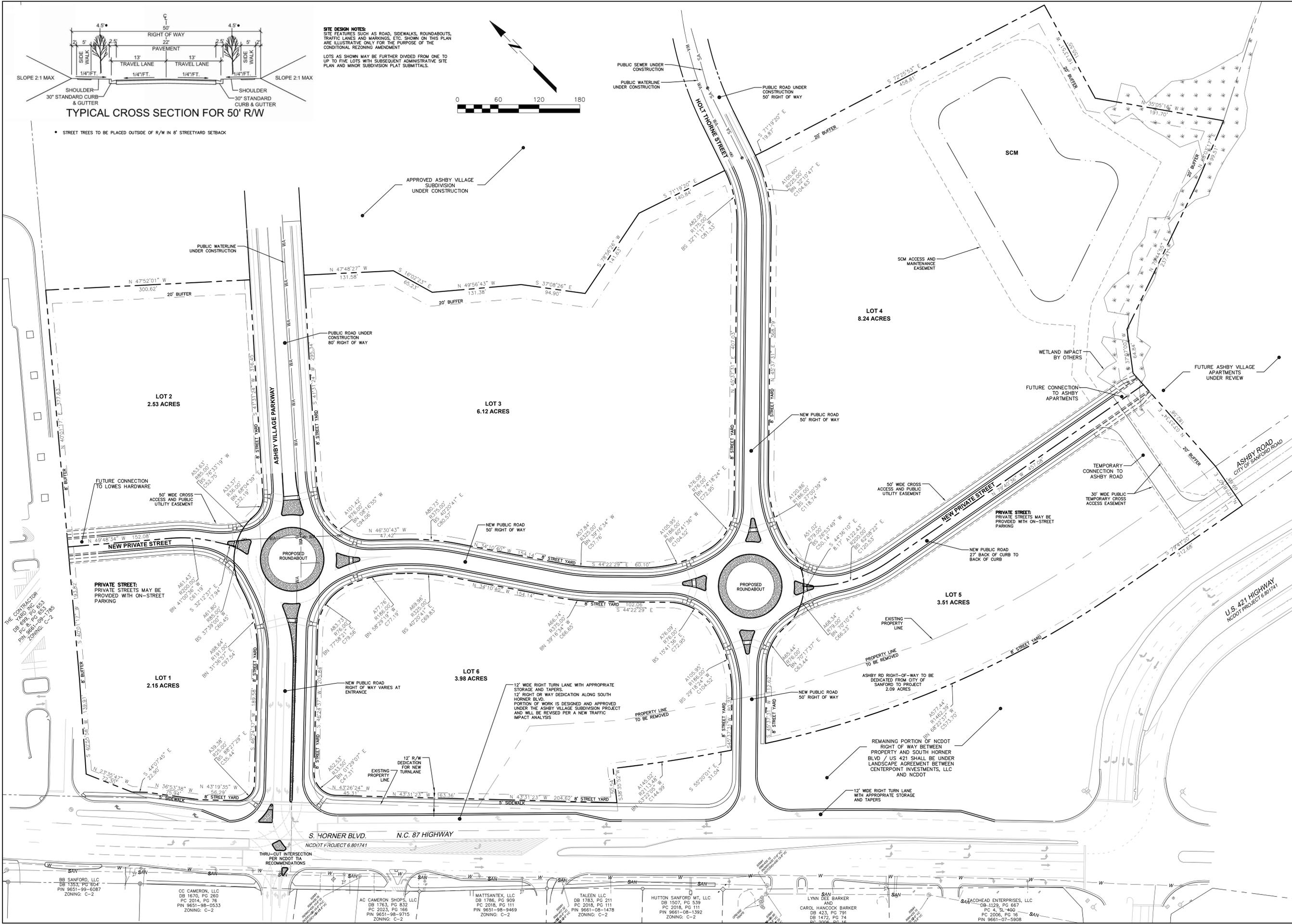
**C4**



SANFORD, NC  
CONDITIONAL REZONING AMENDMENT  
O&I EXISTING CONDITIONS

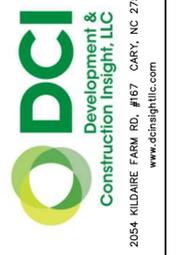
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- BB SANFORD, LLC  
DB 1353, PG 804  
PC 2014, PG 76  
PIN 9651-99-6087  
ZONING: C-2
- CC CAMERON, LLC  
DB 1670, PG 260  
PC 2014, PG 76  
PIN 9651-98-0533  
ZONING: C-2
- AC CAMERON SHOPS, LLC  
DB 1763, PG 832  
PC 2023, PG 166  
PIN 9651-98-9715  
ZONING: C-2
- MATTISANTEX, LLC  
DB 1786, PG 909  
PC 2018, PG 111  
PIN 9651-98-9469  
ZONING: C-2
- TALEN, LLC  
DB 1783, PG 211  
PC 2018, PG 111  
PIN 9661-08-1478  
ZONING: C-2
- HUTTON SANFORD MT, LLC  
DB 1507, PG 539  
PC 2018, PG 111  
PIN 9661-08-1392  
ZONING: C-2
- LYNN BEE BARKER  
AND  
CAROL HANCOCK BARKER  
DB 423, PG 791  
DB 1472, PG 74  
PC 2006, PG 16  
PIN 9661-07-5908
- SANACONHEAD ENTERPRISES, LLC  
DB-1129, PG 667  
PC 4, SL-490  
PC 2006, PG 16  
PIN 9661-07-5908

**SITE DESIGN NOTES:**  
SITE FEATURES SUCH AS ROAD, SIDEWALKS, ROUNDABOUTS, TRAFFIC LANES AND MARKINGS, ETC. SHOWN ON THIS PLAN ARE ILLUSTRATIVE ONLY FOR THE PURPOSE OF THE CONDITIONAL REZONING AMENDMENT.  
LOTS AS SHOWN MAY BE FURTHER DIVIDED FROM ONE TO UP TO FIVE LOTS WITH SUBSEQUENT ADMINISTRATIVE SITE PLAN AND MINOR SUBDIVISION PLAT SUBMITTALS.

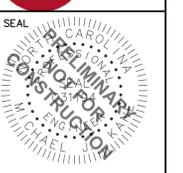


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**ASHBY VILLAGE COMMERCIAL AND OFFICE PARK  
CONDITIONAL REZONING AMENDMENT**  
SANFORD, NC  
CONDITIONAL REZONING AMENDMENT  
**O&I CONCEPT LAYOUT**



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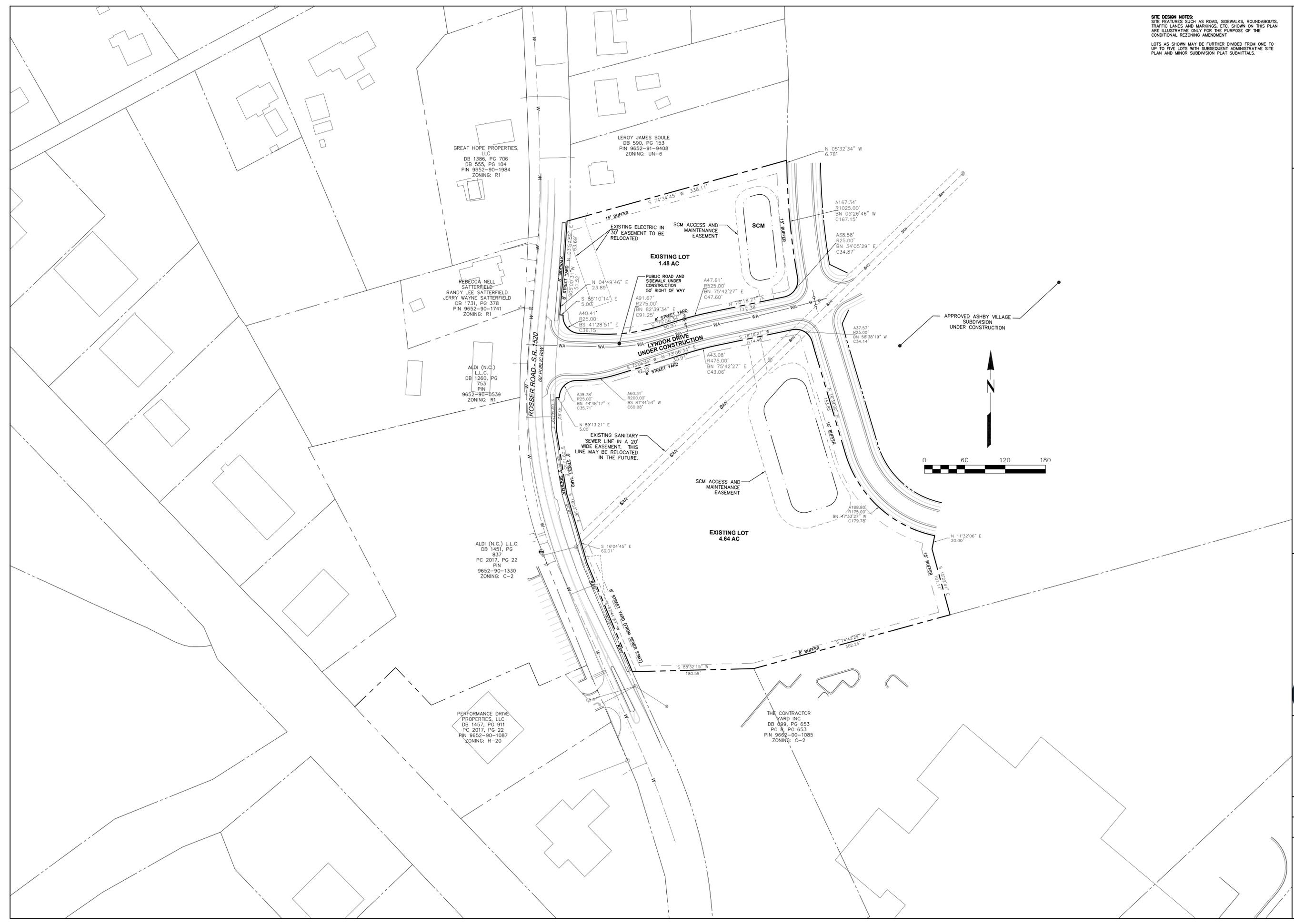


DATE  
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**C6**



GREAT HOPE PROPERTIES, LLC  
DB 1396, PG 706  
DB 555, PG 104  
PIN 9652-90-1984  
ZONING: R1

LEROY JAMES SOULE  
DB 590, PG 153  
PIN 9652-91-9408  
ZONING: UN-6

REBECCA NELL  
SATTERFIELD  
RANDY LEE SATTERFIELD  
JERRY WAYNE SATTERFIELD  
DB 1731, PG 378  
PIN 9652-90-1741  
ZONING: R1

ALDI (N.C.)  
L.L.C.  
DB 1260, PG 753  
PIN 9652-90-0539  
ZONING: R1

ALDI (N.C.) L.L.C.  
DB 1451, PG 837  
PC 2017, PG 22  
PIN 9652-90-1330  
ZONING: C-2

PERFORMANCE DRIVE  
PROPERTIES, LLC  
DB 1457, PG 911  
PC 2017, PG 22  
PIN 9652-90-1087  
ZONING: R-20

THE CONTRACTOR  
YARD INC  
DB 899, PG 653  
PC 8, PG 653  
PIN 9662-00-1085  
ZONING: C-2

EXISTING LOT  
1.48 AC

EXISTING LOT  
4.64 AC

LYNDON DRIVE  
UNDER CONSTRUCTION

APPROVED ASHBY VILLAGE  
SUBDIVISION  
UNDER CONSTRUCTION

EXISTING ELECTRIC IN  
30' EASEMENT TO BE  
RELOCATED

PUBLIC ROAD AND  
SIDEWALK UNDER  
CONSTRUCTION  
50' RIGHT OF WAY

EXISTING SANITARY  
SEWER LINE IN A 20'  
WIDE EASEMENT. THIS  
LINE MAY BE RELOCATED  
IN THE FUTURE.

SCM ACCESS AND  
MAINTENANCE  
EASEMENT

SCM ACCESS AND  
MAINTENANCE  
EASEMENT

# COMMERCIAL C2 VILLAGE CONCEPT REZONING AMENDMENT CONDITIONS

ALL USES ALLOWED IN UDO SECTION 4.6 SHALL BE ALLOWED WITHIN THE C-2 ZONING DESIGNATION WITH THE FOLLOWING EXCEPTIONS:

Bed and breakfast inn
Dormitories for the students of colleges, commercial schools, staff of hospitals
Group Home / Residential Care Facility, Level I, II, III or IV
Nursing, Supervision, Adult Care Homes, Group Care Facilities and other rehabilitative services
Auction sales, general merchandise (no vehicular sales)
Flea markets (outdoors)
Freestanding Ice Vending Unit
Heavy Equipment, sales and service
Leasing, Commercial and Industrial Machinery and Equipment
Manufactured home and / or storage building sales
Mini-warehousing / Self-service storage leasing
Monument and cut stone sales
Motorcycle, Motorized Scooters, ATV Sales and/or Leasing / Rental (Outdoor display)
Motor Vehicles, (automobiles), Boats, RVs Sales and/or Leasing/Rental
Repair of any goods, equipment or vehicles, the manufacture, assembly, or sales of which are permitted in that zoning district
Shopping Center / Superstore, over 100,000 sq. ft.
Contractors Offices/Shop with outdoor storage area
Landfills, C&D or LCID (any size)
Manufacturing (other than pottery or sign)
Paper and Printing Materials manufacturing
Warehouse structures, generally
Aquarium or Planetarium
Amphitheater
Amusement or Theme Park Establishment
Drive-in Theaters
Entertainment Establishments (lounges, discos, nightclubs, pool halls, and/or private clubs)
Golf driving ranges
Outdoor stage, bandstand, or similar structure
Sports stadiums or arenas
Zoos
Cemeteries, public and private
Crematorium & Embalming
Hospitals
Religious Complex
Bus passenger stations / terminals / shelters
Public utility storage and service yards
Sewage treatment and water treatment plants
Solar Collectors
Taxi and Limousine Service
Telecommunication Towers
Crop Production and Support Functions

THE FOLLOWING USES SHALL BE ALLOWED IN THE C-2 ZONING DESIGNATION:

Convenience stores, with gas sales, attached restaurant and drive-thru
Shopping Center / Superstore, 25,000 – 100,000 sq ft are permitted by right, subject to the rezoning conditions of this plan in lieu of article 10.2.

## UDO REVISIONS APPLICABLE TO C2 VILLAGE PORTION OF REZONING AMENDMENT

5.17 HOTELS, MOTELS AND TOURIST COURTS (AMENDED)  
 5.17.1 APPLICABILITY Any building containing six or more guest rooms intended or designed to be used, or which are used, rented or hired out to be occupied or which are occupied for sleeping purposes by guests. (Source: North Carolina State Building Code, Vol. 1, § 201.3)  
 5.17.2 STANDARDS When allowed, all hotels and motels, except hotels or motels in the CBD District, shall be subject to the following additional requirements:  
 5.17.2.1 ~~Not applicable. The lot or parcel shall have direct access to a major or minor thoroughfare.~~  
 5.17.2.2 Where the property line of the hotel or motel is adjacent to property in a Residential Zoning District or a residential use, all hotel and motel buildings and parking shall be located at least 50 feet within the property line of the hotel or motel.  
 5.17.2.3 Any accessory commercial activities such as restaurants and any outdoor recreational activities such as swimming pools shall be located at least 100 feet within the property line of the hotel or motel. ~~not be located along the side of the property adjacent to a Residential Zoning District or use.~~

5.3 ANIMAL HOSPITALS, VETERINARY SERVICES, ANIMAL SHELTERS, KENNELS / ANIMAL SERVICES  
 5.3.1 APPLICABILITY  
 This section applies to Veterinarian Outpatient Clinics. Commercial boarding or storage of live animals beyond the time in which medical treatment is provided is prohibited.  
~~This section applies to any facility providing services for animals on the premises and applies to any use that includes the commercial boarding or storage of live animals, including but not limited to veterinarian hospitals, kennels, and shelters and are subject to the criteria below:~~  
 5.3.2 STANDARDS  
 5.3.2.1 ~~All buildings, structures and facilities shall be located at least 500 feet from any Residential structure.~~  
 5.3.2.2 ~~Animal wastes shall not be stored closer than fifty (50) feet from any property line or surface waters. All animal wastes shall be removed daily.~~  
 5.3.2.3 ~~Areas used for grazing, exercising or training of said animals shall be securely fenced to prevent the animals from straying, or a suitable restraint shall be provided to prevent straying.~~  
 5.3.2.4 ~~Any kennel which is not wholly enclosed within a building shall be enclosed by a security fence at least six (6) feet in height.~~  
 5.3.3 VETERINARIAN OUTPATIENT CLINICS  
 5.3.3.1 ~~In lieu of § 5.3.2, the requirements of subsections (a) through (d), below, shall apply to veterinarian outpatient clinics. For purposes of this section, a "veterinarian outpatient clinic" means a structure where small animals or pets are given medical or surgical treatment and are cared for during the time of such treatment only.~~  
 (a) A veterinarian outpatient clinic must be within a completely enclosed building, with no outside facilities or accessory structures for animals.  
 (b) A veterinarian outpatient clinic shall provide no grooming or boarding of animals except as required for medical treatment.  
 (c) A veterinarian outpatient clinic shall be designed, constructed and maintained to minimize sound emitted through exterior walls and roofs, including areas where animals are treated or kept during treatment.

## UDO SECTION 7.5 – TABLE 7-4 BUFFER YARD LANDSCAPE REQUIREMENTS

REVISE 'MINIMUM REQUIRED POINTS PER LINEAR FOOT' AS FOLLOWS:  
 BUFFER YARD TYPE A: INCREASE FROM 0.2 TO 0.3  
 BUFFER YARD TYPE B: INCREASE FROM 0.7 TO 0.9  
 BUFFER YARD TYPE C: INCREASE FROM 1.0 TO 1.2

## SECTION 7.7.3.1 – STREET YARDS DESIGN REQUIREMENT

REVISE TO STATE:  
 ...ONE LARGE (1) TREE OR TWO (2) SMALL TREE FOR EVERY FORTY LINEAR FEET ...

## SECTION 10.1.4.1 – SOLID WASTE STORAGE AREA / DUMPSTERS

REVISE TO REMOVE FENCING AND LANDSCAPING AS ALLOWABLE SCREENING MATERIAL  
 REVISE TO ADD SOLID CONCRETE OR BLOCK WALL MATCHING BUILDING COLOR AND MATERIAL AS ALLOWABLE SCREENING MATERIAL

## UDO SECTION 10.7

THIS SECTION IS NOT APPLICABLE BASED ON SECTION 10.7.2.3 EXEMPTIONS, BULLET FOUR.

## ADDITIONAL STANDARDS TO C2 VILLAGE PORTION OF REZONING AMENDMENT

### PEDESTRIAN CONNECTIVITY

ALL NEW ROADS, PUBLIC AND PRIVATE, SHALL BE PROVIDED WITH SIDEWALKS. IN ADDITION, ALL PARCELS SHALL PROVIDE SIDEWALK CONNECTIONS TO ROADWAY SIDEWALKS FOR PEDESTRIAN CONNECTIVITY THROUGHOUT THE DEVELOPMENT.

### OUTDOOR SPACE

ONE OUTDOOR SPACE OR SITE AMENITY SHALL BE PROVIDED ON LOT 3, 4 OR 5. THE OUTDOOR SPACE OR SITE AMENITY IS INTENDED TO ENHANCE THE VEHICULAR AND PEDESTRIAN ENTRYWAYS WITHIN THE SITE. AN OUTDOOR SPACE OR SITE AMENITY MAY INCLUDE A PUBLIC PLAZA OR COURTYARD. THE PUBLIC PLAZA OR COURTYARD MAY INCLUDE ADDITIONAL LANDSCAPING, SEATING WALLS OR BENCHES.

### BUILDING MATERIALS

BUILDINGS SHALL INCORPORATE EITHER BRICK OR EARTH TONED NATURAL STONE VENEERS. AT A MINIMUM, MASONRY SHALL BE UTILIZED AS A BUILDING BASE OR ACCENT AT PRIMARY FRONTAGES AND / OR BUILDING ENTRIES. IF UTILIZING BRICK, THE BRICK SHALL PROVIDE A REASONABLE MATCH TO THE STANDARD SET BY THE DEVELOPMENT TEAM. MATERIALS OTHER THAN MASONRY SHALL BE HIGH QUALITY AND IN ACCORDANCE WITH BASE ZONING. UTILIZATION OF THE MATERIAL STANDARDS SET BY THE DEVELOPMENT TEAM IS STRONGLY ENCOURAGED IN ORDER TO PROMOTE A CONSISTENT ATTRACTIVE APPEARANCE TO THE DEVELOPMENT AS A WHOLE.

### GLAZING

PRIMARY BUILDING FRONTAGES SHALL BE DESIGNED WITH A MINIMUM FENESTRATION AREA EQUAL TO 25% OF THE WALL AREA. ALL WALLS VISIBLE FROM ROADWAYS OR PARKING FIELDS SHALL BE DESIGNED WITH A MINIMUM FENESTRATION AREA EQUAL TO 10% OF THE WALL AREA OR SHALL INCORPORATE ARCHITECTURAL ELEMENTS TO PROVIDE RELIEF TO OTHERWISE BLANK FACADES.

### BUILDING MOUNTED LIGHTING

BUILDINGS SHALL INCORPORATE ATTRACTIVE EXTERIOR LIGHTING TO DENOTE ENTRANCES, TO HIGHLIGHT ARCHITECTURAL DETAIL, AND TO ILLUMINATE ADJACENT PEDESTRIAN PATHWAYS. EXTERIOR BUILDING MOUNTED LIGHTING ON PRIMARY FRONTAGES SHALL BE SHIELDED DOWNLIGHTING ONLY. UPLIGHTING SHALL NOT BE ALLOWED. STANDARD "WALL PACK" TYPE FIXTURES SHALL ONLY BE UTILIZED AT BACK OF HOUSE AREAS NOT VISIBLE FROM SURROUNDING ROADWAYS.



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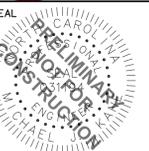
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SANFORD, NC  
CONDITIONAL REZONING AMENDMENT

COMMERCIAL C2 ZONING CONDITIONS



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# O&I REZONING AMENDMENT CONDITIONS

**ALL USES ALLOWED IN UDO SECTION 4.6 SHALL BE ALLOWED WITHIN THE O&I ZONING DESIGNATION WITH THE FOLLOWING EXCEPTIONS:**

Dwelling, modular home
Dwelling, Multifamily (three or more units)
Dwelling, Single-family attached or detached
Home Occupation
Bed and breakfast inn
Dormitories for the students of colleges, commercial schools, staff of hospitals
Group Home / Residential Care Facility, Level I, II, III or IV
Repair of any goods, equipment or vehicles, the manufacture, assembly, or sales of which are permitted in that zoning district
Landfills, C&D or LCID
Aquarium or Planetarium
Amphitheater
Golf courses, public and private
Golf driving ranges
Sports stadiums or arenas
Cemeteries, public and private
Crematorium & Embalming
Hospitals
Religious Complex
Sewage treatment and water treatment plants
Solar Collectors
Telecommunication Towers
Crop Production and Support Functions

**THE FOLLOWING USES SHALL BE ALLOWED IN THE O&I ZONING DESIGNATION:**

Bicycle (non-motorized) Sales and/or Repair
Books, Magazines, music, etc.
Camera and Photographic Supplies
Car Washes and Car Care Centers
Computer and Software Sales
Dry cleaning and laundry
Nurseries and greenhouses, commercial
Pharmacy or Drugstore, with drive-thru facility
Performance Theaters or auditorium (indoor)

**UDO REVISIONS APPLICABLE TO O&I PORTION OF REZONING AMENDMENT**

**UDO SECTION 7.5 – TABLE 7-4 BUFFER YARD LANDSCAPE REQUIREMENTS**

REVISE "MINIMUM REQUIRED POINTS PER LINEAR FOOT" AS FOLLOWS:

- BUFFER YARD TYPE A: INCREASE FROM 0.2 TO 0.3
- BUFFER YARD TYPE B: INCREASE FROM 0.7 TO 0.9
- BUFFER YARD TYPE C: INCREASE FROM 1.0 TO 1.2

**SECTION 7.7.3.1 – STREET YARDS DESIGN REQUIREMENT**

REVISE TO STATE:

...ONE LARGE (1) TREE OR TWO (2) SMALL TREE FOR EVERY FORTY LINEAR FEET ...

**SECTION 10.1.4.1 – SOLID WASTE STORAGE AREA / DUMPSTERS**

REVISE TO REMOVE FENCING AND LANDSCAPING AS ALLOWABLE SCREENING MATERIAL  
REVISE TO ADD SOLID CONCRETE OR BLOCK WALL MATCHING BUILDING COLOR AND MATERIAL AS ALLOWABLE SCREENING MATERIAL

**ADDITIONAL STANDARDS TO O&I PORTION OF REZONING AMENDMENT**

**PEDESTRIAN CONNECTIVITY**

ALL NEW ROADS, PUBLIC AND PRIVATE, SHALL BE PROVIDED WITH SIDEWALKS. IN ADDITION, ALL PARCELS SHALL PROVIDE SIDEWALK CONNECTIONS TO ROADWAY SIDEWALKS FOR PEDESTRIAN CONNECTIVITY THROUGHOUT THE DEVELOPMENT.

**SCALE AND MASSING**

STRUCTURES SHALL CONFORM TO THE FOLLOWING TO ENCOURAGE AN APPROPRIATE LEVEL OF SCALE AND MASSING:

- LONG WALLS (IN EXCESS OF 50' LENGTH) VISIBLE FROM SURROUNDING ROADWAYS OR PARKING FIELDS SHALL BE ARTICULATED WITH BOTH CHANGES IN MATERIAL AND CHANGES IN PLANE, PROJECTING BAYS, REGULARLY SPACED PIERS, OR OTHER ARCHITECTURAL FEATURE TO BREAK UP THE APPEARANCE OF THE BUILDING.
- BUILDINGS SHALL BE DESIGNED TO CLEARLY ARTICULATE A BASE, MIDDLE, AND TOP TO PROVIDE A SENSE OF SCALE THROUGH MATERIAL CHANGE OR ARCHITECTURAL DETAIL SUCH AS WATER TABLES, BANDING, COPINGS AND CORNICES.
- BUILDING ENTRIES SHALL BE ARTICULATED BY A CHANGE IN ROOF LINE MINIMUM OF 2' VERTICAL DIMENSION.

**BUILDING MATERIALS**

BUILDINGS SHALL INCORPORATE EITHER BRICK OR EARTH TONED NATURAL STONE VENEERS. AT A MINIMUM, MASONRY SHALL BE UTILIZED AS A BUILDING BASE OR ACCENT AT PRIMARY FRONTAGES AND / OR BUILDING ENTRIES. IF UTILIZING BRICK, THE BRICK SHALL PROVIDE A REASONABLE MATCH TO THE STANDARD SET BY THE DEVELOPMENT TEAM. MATERIALS OTHER THAN MASONRY SHALL BE HIGH QUALITY AND IN ACCORDANCE WITH BASE ZONING. UTILIZATION OF THE MATERIAL STANDARDS SET BY THE DEVELOPMENT TEAM IS STRONGLY ENCOURAGED IN ORDER TO PROMOTE A CONSISTENT ATTRACTIVE APPEARANCE TO THE DEVELOPMENT AS A WHOLE.

**EXTERIOR BUILDING COLORS**

FAÇADE COLORS SHALL CONSIST OF LOW REFLECTANCE, SUBTLE, NEUTRAL OR EARTH TONE COLORS. BRIGHT COLORS SHALL BE LIMITED TO USE AS ACCENT ELEMENTS, SUCH AS DOOR AND WINDOW FRAMES AND ARCHITECTURAL DETAILS. USE OF NEON TUBING AND/OR FLUORESCENT COLORS IS PROHIBITED.

**ENTRYWAY**

IF AN ENTRANCE TO A PRINCIPAL BUILDING IS VISIBLE FROM A CORRIDOR STREET, SUCH ENTRANCES SHALL FEATURE AT LEAST ONE OF THE FOLLOWING DESIGN ELEMENTS: CANOPIES OR PORTICOES, ARCADES, ARCHES, OR WING WALLS.

**MECHANICAL EQUIPMENT**

TO THE GREATEST EXTENT POSSIBLE, MECHANICAL APPURTENANCES AND EQUIPMENT SHOULD BE LOCATED WITHIN THE STRUCTURE. EXTERNAL MECHANICAL APPURTENANCES, SUCH AS HEATING AND AIR CONDITIONING EQUIPMENT, SHALL BE SCREENED FROM VIEW FROM THE ADJOINING THOROUGHFARE OR FREEWAY. SCREENING MATERIALS SHALL BE FINISHED TO MATCH THE COLORS OF THE ADJACENT BUILDING EXTERIOR.



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O&I ZONING CONDITIONS



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AERIAL VIEW



Colliers Engineering & Design

### ASHBY VILLAGE

Sanford, NC  
1 | 10 October 2025

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**ASHBY VILLAGE COMMERCIAL AND OFFICE PARK  
CONDITIONAL REZONING AMENDMENT**  
SANFORD, NC  
CONDITIONAL REZONING AMENDMENT  
**ARCHITECTURAL RENDERINGS**

RENDERING 1



Colliers Engineering & Design

### ASHBY VILLAGE

Sanford, NC  
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**C9**

RENDERING 2



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ASHBY VILLAGE COMMERCIAL AND OFFICE PARK  
CONDITIONAL REZONING AMENDMENT  
SANFORD, NC  
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### ELEVATION



EIFS      SHIP LAP      BRICK - WHITE WASHED      ARCHITECTURAL BLOCK MEDIUM GRAY      BRICK - BURNT UMBER



### ASHBY VILLAGE

Sanford, NC  
4 | 10 October 2025

Colliers Engineering & Design

**CITY OF SANFORD**  
**CITY COUNCIL AND PLANNING BOARD**  
**PUBLIC HEARING INFORMATION**  
**January 20, 2026**

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**SUMMARY**

The Ashby Village Conditional Zoning District was approved in 2021. All of the subject property was illustrated on the Conceptual Development Plan and the areas indicated as Commercial (C-2) and Office & Institutional (O&I) would allow non-residential land uses with the minimum lot sizes and densities as permitted by the UDO. A detailed site plan/subdivision plan that corresponds with the uses, conditions, design standards, and maximum densities denoted on the Conceptual Development Plan was required to be approved by the Sanford City Council by amending the conditional zoning district prior to the issuance of development permits. At this time, Atwell, PLLC has provided a more detailed site plan/subdivision plan and updated conditions regarding allowed land uses and architectural standards for your consideration. If approved this portion of Ashby Village would be allowed to move forward with development.

Our adopted land use plan designates this parcel as Mixed Use Activity Center, which is intended to facilitate development of large-scale integrated mix of uses with development that is typically a single master-planned unit that is contextually integrated into surrounding development pattern with strong mobility linkages and within close proximity to highway interchanges and major arterials. The overall Ashby Village aligns with this description. Ultimately, it is up to the City Council to determine if they are comfortable allowing this shopping center to have its own unique signage and landscaping standards. Additional information presented at the public hearing should also be considered in the recommendation and the final decision regarding the requested zoning map amendment.

**REQUEST**

Atwell, PLLC is requesting to amend the existing Ashby Village Conditional Zoning District to provide more detail to the Office & Institutional (O&I) and the General Commercial (C-2) portions of the Ashby Village project that was approved via the site plan/subdivision plan conditional zoning process in 2021. The subject property is comprised of four parcels of land totaling 36.9 acres +/- with frontage on Rosser Road and S. Horner Blvd/Ashby Road.

This is a site plan/subdivision plan specific conditional rezoning request; therefore, the development plans and proposed conditions are required as part of the rezoning request.

Public notification consisted of publishing a legal notice in the local newspaper, notification by mail to adjacent property owners, and public hearing signs placed on the property as per the requirements of the North Carolina General Statutes.

**GENERAL INFORMATION**

Applicant: Atwell, PLLC | Contact person: Michael J. Kane  
 Property Owner: Centerpoint Investments, LLC | Anil M. Chandarana, Registered Agent & Managing Member  
 Request: Amend the existing Ashby Village Conditional Zoning District  
 Location: Frontage on Rosser Road and S. Horner Blvd.

*Staff Report - Conditional Rezoning Request to amend the Ashby Village CZD*

Acreage: 36.9 acres +/-  
 Tax Parcel: 9652-90-4777-00 (O&I), 9652-90-5359-00 (O&I), 9661-09-2400-00 (C-2), and 9661-08-9921-00 (C-2)  
 Tax Maps: Maps 9652.20, 9662.03, 9651.08, and 9661.01.  
 Township: Jonesboro  
 Council Ward: 3  
 Fire District: City Station #2) at 2220 Woodland Avenue  
 Schools: Broadway Elementary | East Lee Middle School | Lee Senior High School

### **SITE DESCRIPTION**

The subject property is located in southwestern Sanford, near the Rosser Road and S. Horner Blvd intersection. Lots 1 & 2, the two parcels denoted for Office & Institutional uses, have frontage on Rosser Road, between a house at 2709 Rosser Road and Lowe's Home Improvement at 3015 S. Horner Blvd. In the past, these two lots were part of one larger parcel that was developed with a house addressed as 2813 Rosser Road and several accessory buildings. Lots 3 & 4, the two parcels denoted for General Commercial uses, have frontage on S. Horner Blvd between Lowe's Home Improvement at 3015 S. Horner Blvd and Pine Village Mobile Home Park off of Ashby Road. Lot 3 was formerly developed with two houses addressed as 3103 and 3105 S. Horner Blvd. Lot 4 is still currently developed with a house addressed as 3109 S. Horner Blvd and a church addressed as 115 Ashby Road. Several accessory buildings were also on this lot and have been demolished. The plans submitted with the application state that all buildings, structures, and associated utilities have been demolished and removed. All existing wells and septic systems to be abandoned per the Lee County Environmental Health Department requirements.

### **ZONING DISTRICT INFORMATION**

Existing Zoning: Ashby Village Conditional Zoning District was approved in 2021 (Ordinance 2021-92). All of the subject property was illustrated on the Conceptual Development Plan and the areas indicated as Commercial (C-2) and Office & Institutional (O&I) would allow non-residential land uses with the minimum lot sizes and densities as permitted by the UDO. A detailed site plan/subdivision plan that corresponds with the uses, conditions, design standards, and maximum densities denoted on the Conceptual Development Plan (see image below) was required to be approved by the Sanford City Council by amending the conditional zoning district prior to the issuance of development permits.

*(see image on next page)*

**Ashby Village Conditional Zoning District Conceptual Development Plan - Approved in 2021**



ASHBY VILLAGE:		
	TOTAL AREA	153.0 +/- AC
①	COMMERCIAL (C-2 VILLAGE CONCEPT)	27.9 +/- AC
②	O&I	6.5 +/- AC

Specific Information for Office & Institutional District (O&I): 9652-90-4777-00 and 9652-90-5359-00

The Office & Institutional District (O&I) is established to provide for agencies and offices rendering specialized services and traditional institutional functions (both public and private) including, but not limited to, governmental facilities, cultural and recreational facilities, educational facilities and charitable institutions.

Minimum lot size:	N/A
Minimum lot width:	50ft
Minimum lot depth:	100ft
Minimum building setback, front:	10ft, measured from the r/o/w of the public street
Minimum building setback, rear:	Determined by the required landscape buffer yard width
Minimum building setback, side(s):	Determined by the required landscape buffer yard width
Maximum building height:	60ft
Maximum impervious surface:	70%, not taking into consideration watershed regulations

Examples of uses permitted by right within the O&I zoning district include finance & insurance services, medical & dental clinics, office buildings, personal services (nail salons, barbers, etc.), professional services (legal, accounting, etc.), real estate sales/rental/leasing, religious complexes/churches, restaurants with no drive-in or drive-through facilities, and schools. There is a list of all of the permitted uses for this zoning district, including the uses subject to supplemental development standards and/or requiring the issuance of a Special Use Permit, within the agenda packet for your reference.

Specific Information for General Commercial (C-2): 9661-09-2400-00 and 9661-08-9921-00

The General Commercial (C-2) zoning district is established to provide areas for general commercial activities designed to serve the community such as shopping centers, repair shops wholesale businesses, and retail sales with limited outdoor display of goods and limited outdoor operations. This district promotes a broad range of commercial operations and services necessary for large regions of the County, providing community balance. C-2 zones should be located on or within proximity to major thoroughfares.

Minimum lot size:	N/A
Minimum lot width:	50ft
Minimum lot depth:	100ft
Minimum building setback, front:	10ft, measured from the r/o/w of the public street
Minimum building setback, rear:	Determined by the required landscape buffer yard width
Minimum building setback, side(s):	Determined by the required landscape buffer yard width
Maximum building height:	N/A
Maximum impervious surface:	80%, not taking into consideration watershed regulations

Examples of uses permitted by right within the C-2 zoning district include administrative services, antique shops, appliance sales/repair/maintenance, bakeries, computer & software sales, convenience stores with & without gas sales, dry cleaning & laundry, farm/landscape/garden supply with or without outdoor storage, grocery stores & supermarkets (all sizes), hardware/home centers/lumber yard/ heating & plumbing with indoor & outdoor storage, motor vehicle sales & service, office buildings, professional services (legal, accounting, architectural, etc.), real estate sales/rental/leasing, restaurants with drive-in or drive-through facilities, upholstery & furniture refinishing, and wholesale. There is a list of all

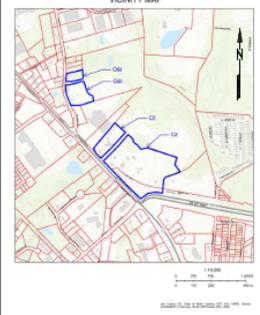
permitted uses for this zoning district, including the uses subject to supplemental development standards and/or requiring the issuance of a Special Use Permit, within the agenda packet for your reference.

Proposed Amendment to the Ashby Village Conditional Zoning District:

The amendment is intended to provide more detail to the O&I and the C-2 portions of the Ashby Village Conditional Zoning District approved in 2021. If this amendment is approved, it will allow these portions of Ashby Village to move forward with actual development. Reference the plans labeled “Conditional Rezoning Amendment to Ord-2021-92-CZ Ashby Village Commercial and Office Park” submitted with the rezoning application.

Sheet C1: Cover Sheet

This sheet provides a vicinity map for the subject property and the overall lot layout for the O&I and C-2 areas of Ashby Village associated with this amendment.



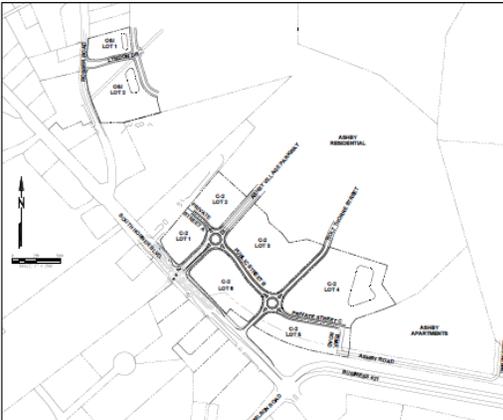
**PROPERTY OWNER**  
 1. J. J. BROWN, JR. & SONS, LLC  
 2. J. J. BROWN, JR.  
 3. J. J. BROWN, JR. & SONS, LLC  
 4. J. J. BROWN, JR. & SONS, LLC  
 5. J. J. BROWN, JR. & SONS, LLC

**ENGINEER**  
 1. J. J. BROWN, JR. & SONS, LLC  
 2. J. J. BROWN, JR.  
 3. J. J. BROWN, JR. & SONS, LLC  
 4. J. J. BROWN, JR. & SONS, LLC  
 5. J. J. BROWN, JR. & SONS, LLC

**PROJECT MANAGER**  
 1. J. J. BROWN, JR. & SONS, LLC  
 2. J. J. BROWN, JR.  
 3. J. J. BROWN, JR. & SONS, LLC  
 4. J. J. BROWN, JR. & SONS, LLC  
 5. J. J. BROWN, JR. & SONS, LLC

### CONDITIONAL REZONING AMENDMENT TO ORD-2021-92-CZ ASHBY VILLAGE COMMERCIAL AND OFFICE PARK SANFORD, NORTH CAROLINA

APPROVED  
TRC CONCEPT PLAN  
APPROVED 11/06/22



**CONDITIONAL REZONING AMENDMENT NOTES**

1. THE CITY OF SANFORD HAS REVIEWED THE PROPOSED REZONING AMENDMENT AND HAS DETERMINED THAT THE PROPOSED REZONING AMENDMENT IS IN THE BEST INTERESTS OF THE CITY OF SANFORD.
2. THE CITY OF SANFORD HAS REVIEWED THE PROPOSED REZONING AMENDMENT AND HAS DETERMINED THAT THE PROPOSED REZONING AMENDMENT IS IN THE BEST INTERESTS OF THE CITY OF SANFORD.
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5. THE CITY OF SANFORD HAS REVIEWED THE PROPOSED REZONING AMENDMENT AND HAS DETERMINED THAT THE PROPOSED REZONING AMENDMENT IS IN THE BEST INTERESTS OF THE CITY OF SANFORD.

**ASHBY ROAD CLOSURE SEQUENCE**

1. THE CITY OF SANFORD HAS REVIEWED THE PROPOSED REZONING AMENDMENT AND HAS DETERMINED THAT THE PROPOSED REZONING AMENDMENT IS IN THE BEST INTERESTS OF THE CITY OF SANFORD.
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**SHEET INDEX**

- 01 SITE PLAN
- 02 SITE PLAN
- 03 SITE PLAN
- 04 SITE PLAN
- 05 SITE PLAN
- 06 SITE PLAN
- 07 SITE PLAN
- 08 SITE PLAN
- 09 SITE PLAN
- 10 SITE PLAN
- 11 SITE PLAN
- 12 SITE PLAN
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- 14 SITE PLAN
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- 100 SITE PLAN

**ODCI**  
 OFFICIAL DEVELOPMENT CONSULTING INC.  
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**ATWELL**  
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**COVER SHEET**

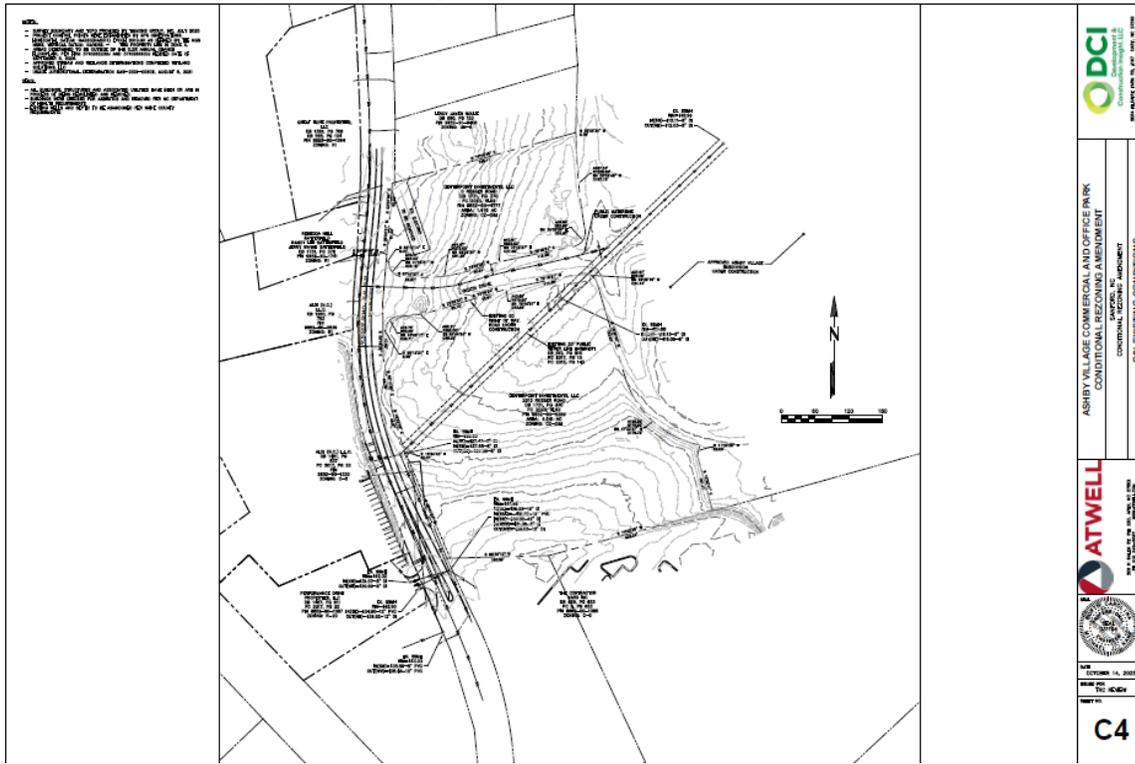
**ASHBY VILLAGE COMMERCIAL AND OFFICE PARK  
CONDITIONAL REZONING AMENDMENT  
COVER SHEET**

**C1**



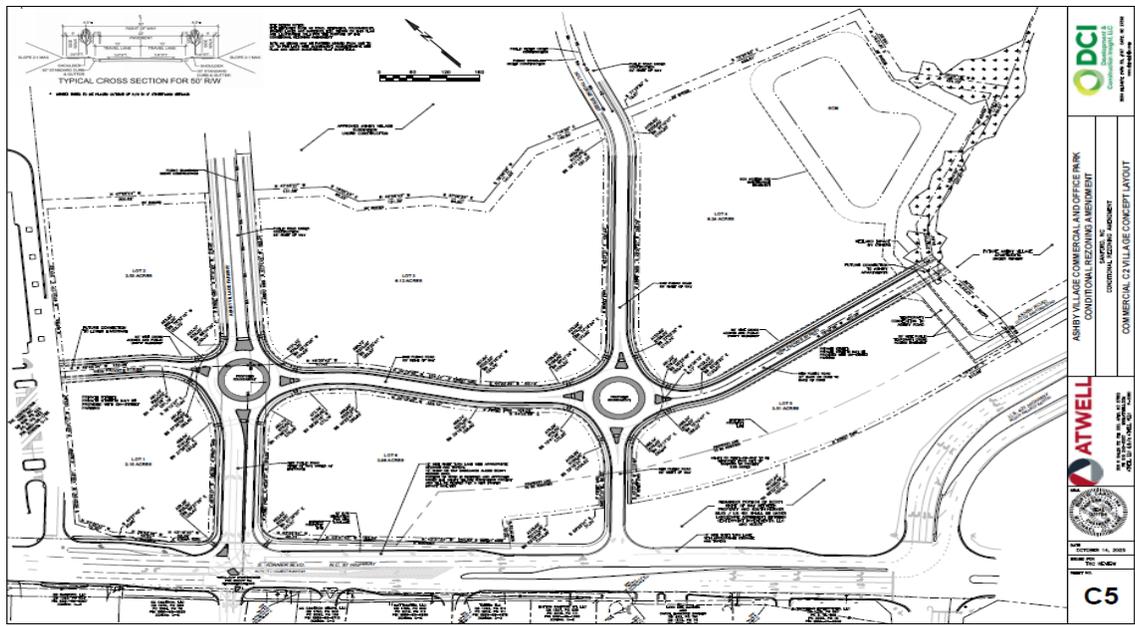
Sheet C4: O&I Existing Conditions

This sheet illustrates the existing site conditions, such as topography, utilities, and environmental features for the area of Ashby Village designated as O&I.



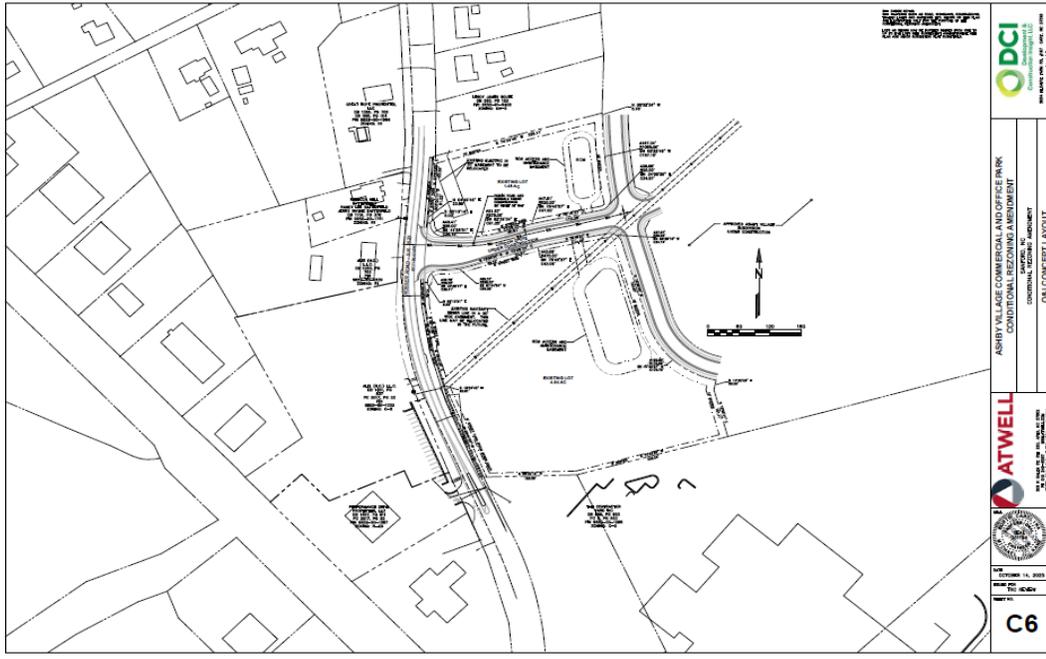
Sheet C5: C-2 Concept Layout

This sheet illustrates the general overall layout of the individual lots and road network for the area of Ashby Village designated as C-2. Lots as shown may be further divided from one up to five lots with subsequent administrative site plan and minor subdivision submittals. A connection from S. Horner Blvd to Ashby Road and Truelove Street will be maintained at all times.



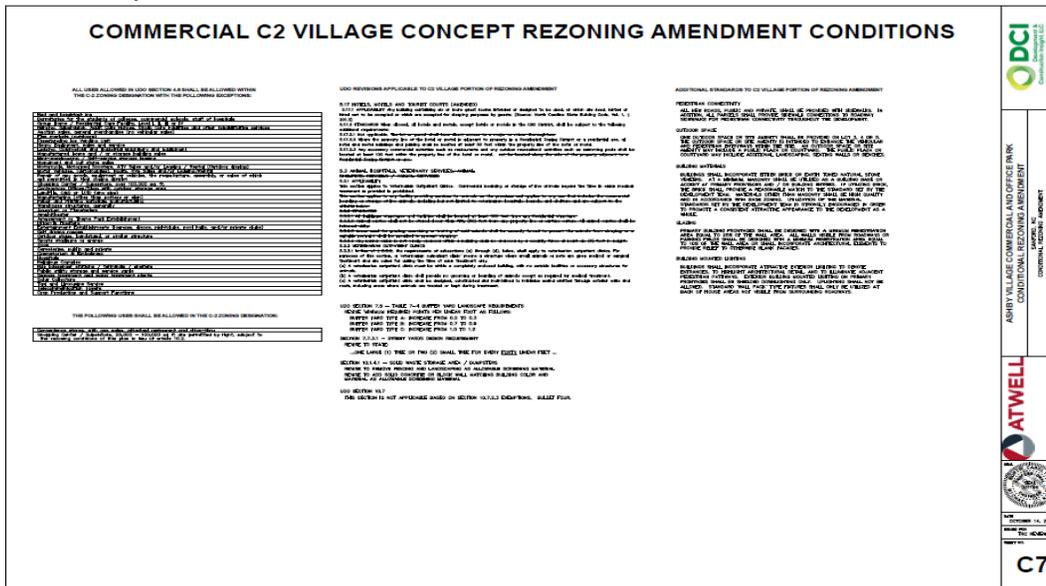
Sheet C6: O&I Concept Plan

This sheet illustrates the general overall layout of the individual lots and road network for the area of Ashby Village designated as O&I. Lots as shown may be further divided from one up to five lots with subsequent administrative site plan and minor subdivision submittals.



Sheet C7: C-2 Zoning Conditions

This sheet provides information regarding the specific development standards for the C-2 designated areas and uses allowed within the C-2 designated areas of Ashby Village. It is noted that this project is exempt from compliance with UDO Section 10.7 Design Standards for Commercial Development Along Thoroughfares & Freeways with the rationale being that this falls within the exemption category of "building lots created as part of an office/business park or an industrial park if such lots do not take vehicular access directly from a thoroughfare or freeway. Such lots shall be exempt only if access is via a secondary street".



#### Pedestrian Connectivity:

- All new roads, public & private, shall have sidewalks.
- In addition, all parcels shall provide sidewalk connections to roadway sidewalks for pedestrian connectivity throughout the development.

#### Outdoor Space:

- One outdoor space or site amenity shall be provided on lot 3, 4, or 5. The outdoor space or site amenity is intended to enhance the vehicular and pedestrian entryways within the site. An outdoor space or site amenity may include a public plaza or courtyard. The public plaza or courtyard may include additional landscaping, seating walls or benches.

#### Building Materials:

- Buildings shall incorporate either brick or earth toned natural stone veneers. At a minimum, masonry shall be utilized as a building base or accent at primary frontages and/or building entries. If utilizing brick, the brick shall provide a reasonable match to the standard set by the development team. Materials other than masonry shall be high quality and in accordance to base zoning. Utilization of material standards set by the development team is strongly encouraged in order to promote a consistent attractive appearance to the development as a whole.

#### Glazing:

- Primary building frontages shall be designed with a minimum fenestration equal to 25% of the wall area. All walls visible from roadways or parking fields/areas shall be designed with a minimum fenestration area equal to 10% of the wall area or shall incorporate architectural elements to provide relief to otherwise blank facades.

Note: Fenestration is the arrangement, proportioning, and design of windows & doors in a building.

#### Building Mounted Lighting:

- Buildings shall incorporate attractive exterior lighting to denote entrances, to highlight architectural detail, and to illuminate adjacent pedestrian pathways. Exterior building mounted lighting on primary frontages shall be shielded downlighting only. Uplighting shall not be allowed. Standard “wall pack” type fixtures shall only be utilized at back of house areas not visible from surrounding roadways.

#### Landscaping:

- The required buffer yard landscaping shall be more than the UDO development standards. Specifically, buffer yard landscaping shall comply with UDO Section 7.5, Buffer Yards and Table 7-4 Buffer Yard Landscaping Requirements with the exception that the minimum required points per linear foot is revised as follows: Type A (8ft wide) buffer yard shall increase from 0.2 points to 0.3 points; Type B (15ft wide) buffer yard shall increase from 0.7 points to 0.9 points; and a Type C (20ft wide) buffer yard shall increase from 0.1 to 1.2.
- The required street yard landscaping shall be more than the UDO development standards. Specifically, street yard landscaping shall comply with UDO Section 7.7 Street Yards with the exception that one large tree or two small trees shall be required for every 40 linear feet of road frontage, as opposed to every 50ft of road frontage.

Screening:

- Outdoor storage and solid waste screening shall comply with UDO Section 10.1 Outdoor Storage and Solid Waste Screening Standards with the exception that fencing & landscaping are not to be allowed as screening material and solid concrete block or block wall matching the building color & material are allowable as screening materials.

Uses:

All of the uses allowed per the UDO in the C-2 zoning district shall be allowed in the areas of Ashby Village designated as C-2 with the following exceptions:

- NOT ALLOWED -

- Bed & breakfast inns
- Dormitories for students
- Group homes / residential care facilities; levels 1, 2, 3, or 4
- Nursing, supervision, adult care homes, Group care facilities, and other rehabilitative services
- Auction sales, general merchandise; no vehicular sales
- Flea markets; outdoors
- Freestanding ice vending units
- Heavy equipment sales & service
- Leasing of commercial & industrial machinery and equipment
- Manufactured home and/or storage building sales
- Mini-warehousing / self-storage leasing
- Monument and cut stone sales
- Motorcycle, motorized scooters, ATV sales and/or leasing/rental (outdoor display)
- Motor vehicles (automobiles), boats, RVs sales and/or leasing/rental
- Repair of any goods, equipment or vehicles the manufacture, assembly, or sales of which are permitted in the O&I zoning district
- Shopping center / superstore over 100,000sf
- Contractor's office/shop with outdoor storage area
- Landfills; C&D/construction & demolition or LCID/land clearing & inert debris; any size
- Manufacturing, other than pottery or signs
- Paper and printing materials manufacturing
- Warehouse structure; generally
- Aquarium or planetarium
- Amphitheater
- Amusement or theme park establishment
- Drive-in theater
- Entertainment establishments (lounges, discos, nightclubs, pool halls, and/or private clubs)
- Golf driving ranges
- Outdoor stage, bandstand, or similar structure
- Sports stadiums or arenas
- Zoos
- Cemeteries, public & private, and Crematoriums & embalming
- Hospitals
- Religious complex
- Bus passenger stations/terminals/shelters
- Public utility storage and/or service yards
- Sewage treatment and water treatment plants

- Solar collectors
- Taxi and limousine service
- Telecommunications towers
- Crop production and support functions

The follow uses that are not allowed per UDO in the C-2 zoning district shall be allowed in the areas of Ashby Village designated as C-2

- ALLOWED IN ADDITION TO THE UDO PERMITTED C-2 USES-

- Convenience stores with gas sales, attached restaurant, and drive-through
- Shopping center / superstore; 25,000sf – 100,000sf, subject to the rezoning conditions of the information & plans submitted with this rezoning amendment in lieu of compliance with UDO Article 10.2 Shopping Centers and Superstores.

The following development standards are for specific uses and replace or modify the UDO standards for these uses in the areas of Ashby Village designated as C-2.

-REPLACE OR MODIFY THE UDO STANDARDS FOR SPECIFIC USES-

- Hotels, Motels, and Tourist Courts: The lot or parcel developed with a hotel, motel, or tourist court shall not be required to have direct frontage on a major or minor thoroughfare. Also, any accessory commercial activities (restaurants, etc.) and any outdoor recreational facilities (swimming pools, etc.) may be located along the side of the property adjacent to a residential zoning district or use.
- Animal Hospitals / Veterinary Services: This section applies to Veterinarian Outpatient Clinics, which is a structure where small animals or pets are given medical or surgical treatment and are cared for during the time of such treatment only. Commercial boarding or storage of live animals beyond the time in which medical treatment is provided is prohibited. This must be within a completely enclosed facility with no outside facilities or accessory structures for animals. No grooming or boarding of animals except as required for medical treatment. The building for this use shall be designed, constructed, and maintained to minimize sound emitted through exterior walls and roofs, including where animals are treated or kept during treatment.

Note: Animal Shelters, Kennels, and Animal Services as referenced in UDO Section 5.3 are not allowed. Also, the language under “standards” of UDO Section 5.3 is not applicable. Reference Sheet C7 for the specific UDO language that has been stricken from applicability.



#### Exterior Building Colors:

- Façade colors shall consist of low reflectance, subtle, neutral or earth tone colors. Bright colors shall be limited to use as accent elements, such as door & window frames and architectural details. Use of neon tubing and/or fluorescent colors is prohibited.

#### Entryway:

- If an entrance to a principal building is visible from a corridor street, such entrances shall feature at least one of the following design elements: canopies, porticoes, arcades, arches, or wing walls.

#### Mechanical Equipment:

- To the greatest extent possible, mechanical appurtenances and equipment should be located within the structure. External mechanical equipment appurtenances, such as heating & air conditioning equipment, shall be screened from view from the adjoining thoroughfare or freeway. Screening materials shall be finished to match the colors of the adjacent building exterior.

#### Landscaping:

- The required buffer yard landscaping shall be more than the UDO development standards. Specifically, buffer yard landscaping shall comply with UDO Section 7.5, Buffer Yards and Table 7-4 Buffer Yard Landscaping Requirements with the exception that the minimum required points per linear foot is revised as follows: Type A (8ft wide) buffer yard shall increase from 0.2 points to 0.3 points; Type B (15ft wide) buffer yard shall increase from 0.7 points to 0.9 points; and a Type C (20ft wide) buffer yard shall increase from 0.1 to 1.2.
- The required street yard landscaping shall be more than the UDO development standards. Specifically, street yard landscaping shall comply with UDO Section 7.7 Street Yards with the exception that one large tree or two small trees shall be required for every 40 linear feet of road frontage, as opposed to every 50ft of road frontage.

#### Screening:

- Outdoor storage and solid waste screening shall comply with UDO Section 10.1 Outdoor Storage and Solid Waste Screening Standards with the exception that fencing & landscaping are not to be allowed as screening material and solid concrete block or block wall matching the building color & material are allowable as screening materials.

#### Uses:

All of the uses allowed per the UDO in the O&I zoning district shall be allowed in the areas of Ashby Village designated as O&I with the following exceptions:

#### - NOT ALLOWED -

- Single-family homes; attached or detached or modular
- Multi-family homes; apartments, condos, etc.
- Home occupations
- Bed & breakfast inns
- Dormitories for students
- Group homes / residential care facilities
- Repair of any goods, equipment or vehicles the manufacture, assembly, or sales of which are permitted in the O&I zoning district

- Landfills; C&D/construction & demolition or LCID/land clearing & inert debris; any size
- Aquarium or planetarium
- Amphitheater
- Golf courses, public or private and golf driving ranges
- Sports stadiums or arenas
- Cemeteries, public & private, and Crematoriums & embalming
- Hospitals
- Religious complex
- Sewage treatment and water treatment plants
- Solar collectors
- Telecommunications towers
- Crop production and support functions

The follow uses that are not allowed per UDO in the O&I zoning district shall be allowed in the areas of Ashby Village designated as O&I:

- ALLOWED IN ADDITION TO THE UDO PERMITTED O&I USES-

- Bicycle sales and/or repair; non-motorized
- Books, magazines, music, etc.
- Camera and photographic supplies
- Care washes and car care centers
- Computer and software sales
- Dry cleaning and laundry
- Nurseries and greenhouses; commercial
- Pharmacy or drug store; with drive-through facility
- Performance theaters or auditorium; indoor

Sheet C9: Architectural Renderings

This sheet illustrates the vision for the overall design of this area and the buildings in this area.

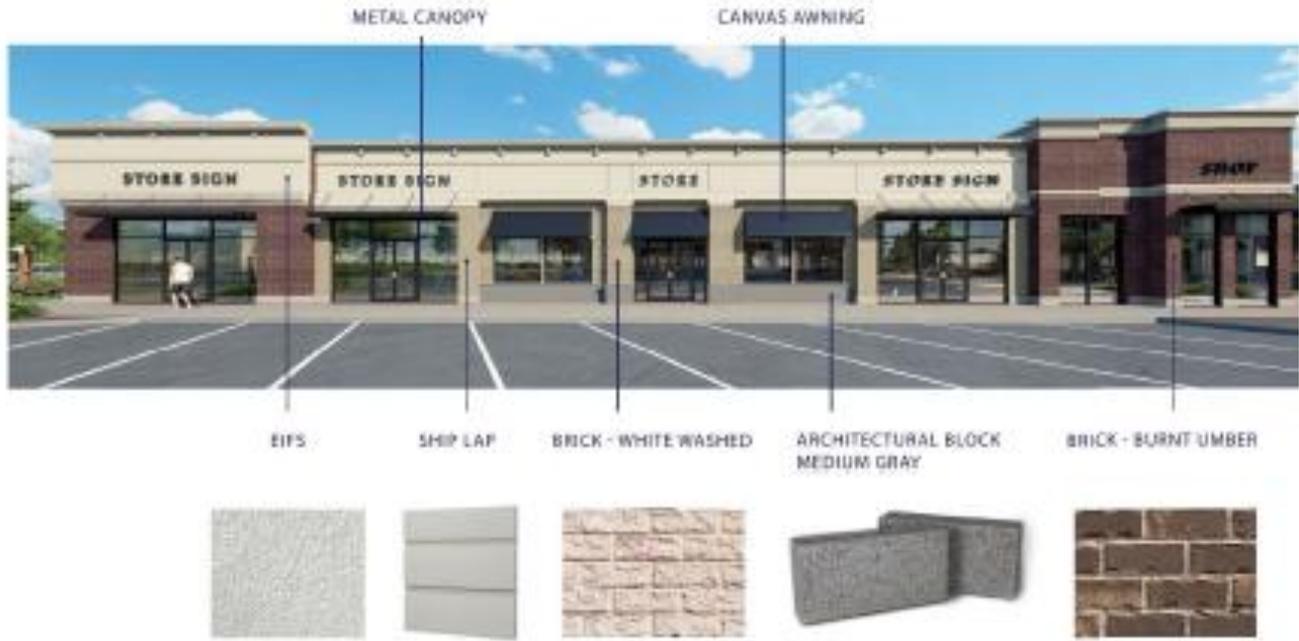


Sheet C10: Architectural Renderings

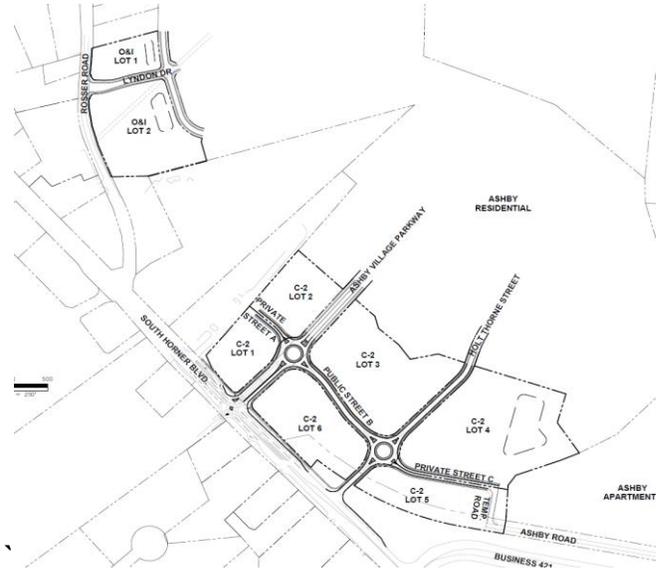
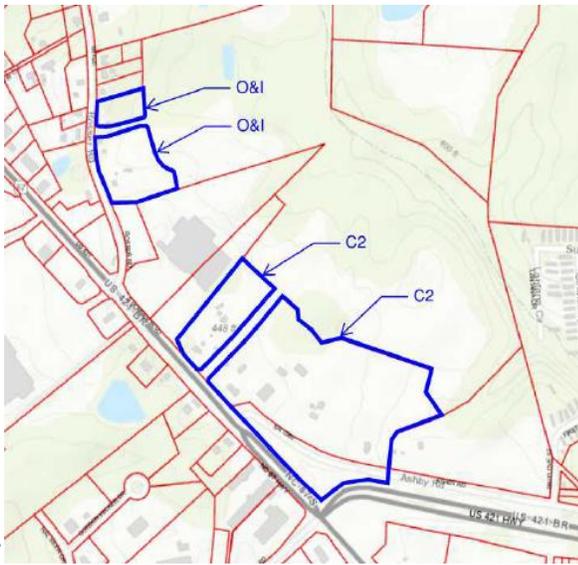
This sheet illustrates the vision for the buildings in this area. The building materials proposed are:

- Brick; burnt umber in color
- Brick; white washed in color
- Architectural block; medium gray in color
- Ship lap; no specific color information provided
- EIFS (Exterior Insulation Finishing System); no specific color information provided

*Note: EIFS is a lightweight synthetic wall cladding that includes lightweight foam plastic insulation and thin synthetic coatings. Visually, this looks like a stucco exterior finish and is commonly used instead of stucco.*



## Adjacent Land Uses & Zoning



### 9652-90-4777-00; O&I; Lot 1 on Project Overview map

- North: Single-family homes at 2709, 2705, 2701, 2603 Rosser Road on land zoned Urban Neighborhood (UN-6)
- South: A roadway that serves as an entrance to a residential subdivision under construction on land zoned Ashby Village Conditional Zoning District
- East: A residential subdivision under construction on land zoned Ashby Village Conditional Zoning District
- West: Opposite Rosser Road, single-family homes at 2708, 2716, and 2800 Rosser Road on land zoned Urban Neighborhood (UN-6)

### 9652-90-5359-00; O&I; Lot 2 on Project Overview map

- North: A roadway that serves as the main entrance to a residential subdivision under construction on land zoned Ashby Village Conditional Zoning District
- South: Lowes Home Improvement at 3015 S. Horner Blvd on land zoned General Commercial (C-2)
- East: A residential subdivision under construction on land zoned Ashby Village Conditional Zoning District
- West: Opposite Rosser Road, Aldi grocery store at 2903 S. Horner Blvd and a commercial building with two lease units at 2905/2097 S. Horner Blvd occupied by a Starbucks restaurant with drive-through and a Mattress Firm retail store on land zoned General Commercial (C-2)

### 9661-08-9921-00; C-2; Lots 1 and 2 on Project Overview map

- North: A residential subdivision under construction on land zoned Ashby Village Conditional Zoning District
- South: Opposite S. Horner Blvd, Verizon Wireless at 3014 S. Horner Blvd and a commercial building with six lease units at 3090-3098 S. Horner Blvd occupied by Buffalo Wild

- Wings restaurant, The UPS Store, Sarkus Express Japanese restaurant, Tropical Smoothie Café, and an AT&T store on land zoned General Commercial (C-2)
- East: A residential subdivision under construction on land zoned Ashby Village Conditional Zoning District
- West: A roadway that serves as an entrance to a residential subdivision under construction on land zoned Ashby Village Conditional Zoning District

9661-08-9921-00; C-2; Lots 3, 4, 5, and 6 on Project Overview map

- North: A residential subdivision under construction on land zoned Ashby Village Conditional Zoning District
- South: Opposite S. Horner Blvd, the entrance to Cameron Place shopping center and a commercial building with five lease units at 3100-3108 S. Horner Blvd occupied by Dunkin Donuts restaurant with drive-through, T-Mobile, Jimmy John's restaurant, and the Vitamin Shoppe on land zoned General Commercial (C-2)  
Opposite Ashby Road and S. Horner Blvd, a commercial building with five lease units at 3110 A-E S. Horner Blvd occupied by Mattress Warehouse, Jersey Mike's restaurant, Sport Clips Haircuts, and FirstHealth Family Medicine (one vacant lease space) on land zoned General Commercial (C-2) and Light Industrial (LI)  
Opposite Ashby Road and S. Horner Blvd, Mod Car Wash at 3120 S. Horner Blvd on land zoned General Commercial (C-2) and Light Industrial (LI)  
Opposite Ashby Road and S. Horner Blvd, Ron's Barn restaurant at 3122 S. Horner Blvd, Honda Suzuki of Sanford at 3128 S. Horner Blvd, and Sanford Honda at 3130/3140 S. Horner Blvd on land zoned General Commercial (C-2)

**LOCAL OVERLAY DISTRICTS**

The subject property is not located within a local overlay district. This site is located along a roadway that has architectural standards for commercial development per Section 10.7 of the UDO; however, the development standards included as part of the conditional zoning take precedent over these standards.

The following is a general note included with all rezoning requests: Sanford, Lee County, and Broadway do not have a local grading permit or stormwater ordinance and rely on the NC Department of Environmental Quality to regulate land disturbing activities. For questions or concerns regarding land disturbing activities, contact the NC Division of Energy, Mineral, and Land Resources Sediment Program via mail 1612 Mail Service Center, Raleigh, NC 27699-1612, via phone at 877-623-6748 or visit the NCDEQ website at <http://deq.nc.gov>.

**UTILITIES**

There appears to be a public water main line along Rosser Road and S. Horner Blvd in the area of all of the four of the parcels included in the subject property. There appears to be a public sewer main line that crosses 9652-90-5359-00 and along the portion of S. Horner Blvd fronting 9661-09-2400-00 and 9661-08-9921-00 (which side of the road the sewer is on is unclear in GIS). 9652-90-4777-00 does not appear to have direct access to public sewer. This information is per our GIS mapping system and, if the rezoning is approved, all proposed public water & public sewer extensions/connections to serve future development must be approved by TriRiver Water to verify compliance with all policies and regulations including, but not limited to, off-site improvements and upgrades.

## **TRANSPORTATION**

The subject property has approximately 574ft of frontage on Rosser Road, which is a NCDOT maintained public roadway with a 60ft right-of-way in the area of the subject property. There is approximately 355ft of frontage on S. Horner Blvd, which is a NCDOT maintained public roadway with a 120ft right-of-way in the area of the subject property. There is approximately 1,096ft of frontage on a Ashby Road, which is a City maintained public roadway with a 60ft right-of-way in the area of the subject property. This information is per our GIS mapping system and NCDOT and/or the City of Sanford must approve any proposed driveways via the site plan review/approval process to verify compliance with all applicable regulations, including, but not limited to, traffic studies and roadway improvements/turn lanes.

2011 Lee County Comprehensive Transportation Plan: This plan illustrates Rosser Road and Ashby Road as an existing roadway with no improvements noted. This plan illustrates S. Horner Blvd as an existing minor thoroughfare that needs improvement.

NCDOT Average Annual Daily Traffic Count (AADT): There is a 2023 NCDOT AADT of 4,100 vehicles per day on Rosser Road in the approximate area of the O&I designated property. There is a 2023 NCDOT AADT of 26,500 vehicles per day on S. Horner Blvd near the Lowes home improvement store. There is no information for Ashby Road.

## **DEVELOPMENT STANDARDS**

If rezoned, the land uses, densities, and design associated with the amended Ashby Village Conditional Zoning District would apply. Any design standards not addressed within the conditional zoning district would be required to meet the current general development standards of the UDO.

## **NEIGHBORHOOD MEETING**

A neighborhood meeting was held on December 1<sup>st</sup> with five applicant representatives and two adjoining property owners in attendance. Topics of discussion included concern about access to their property at 2603 Rosser Road and 2708 Rosser Road and questions about the development closest to these properties. Per the information provided by the applicant, no specific changes were discussed or requested and non are anticipated being made as a result of the meeting discussion.

The applicant was also contacted prior to the meeting by the owner of Ruby Tuesday's restaurant who is pro-development in this area and was forwarded the full rezoning plan set approved by the TRC for his reference.

## **PLAN SANLEE**

The *Plan SanLee* long-range land use plan identifies the site as Mixed Use Activity Center, which is intended to facilitate development of large-scale integrated mix of uses. Development is typically a single master-planned unit that is contextually integrated into surrounding development pattern with strong mobility linkages and is within close proximity to highway interchanges and major arterials. The local example is the US Hwy 1 / Spring Land interchange area in Sanford. Information from the land use plan is provided as attachments to this report for your reference.

## **STAFF ANALYSIS**

Our adopted land use plan designates this parcel as Mixed Use Activity Center, which is intended to facilitate development of large-scale integrated mix of uses with development that is typically a single

master-planned unit that is contextually integrated into surrounding development pattern with strong mobility linkages and is within close proximity to highway interchanges and major arterials.

This is an amendment to the Ashby Village Conditional Zoning District to provide more detail to the Office & Institutional (O&I) and the General Commercial (C-2) portions of the Ashby Village project that was approved via the site plan/subdivision plan conditional zoning process in 2021. Ultimately, it is up to the City Council to determine if they are comfortable with the information provided regarding the development of the commercial portion of Ashby Village. Additional information presented at the public hearing should also be considered in the recommendation and the final decision regarding the requested zoning map amendment.

### **PLANNING BOARD RECOMMENDATION**

Per state law, when conducting a review of a proposed zoning text or map amendment, the planning board shall advise and comment on whether the proposed action is consistent with any comprehensive plan that has been adopted and any other officially adopted plan that is applicable. The planning board shall provide a written recommendation to the governing board that addresses plan consistency and other matters as deemed appropriate by the planning board, but a comment by the planning board that a proposed amendment is inconsistent with the comprehensive plan shall not preclude consideration or approval of the proposed amendment by the governing board. If no written report is received from the planning board within 30 days of referral of the amendment to that board, the governing board may act on the amendment without the planning board report. The governing board is not bound by the recommendations, if any, of the planning board

### **Sample Motions**

The Planning Board shall provide a written recommendation to the City Council that addresses plan consistency and other matters as deemed appropriate by the Planning Board. These sample motions are provided by staff based on information in the *Plan SanLee* land use plan. The Planning Board members are free to create a unique motion based on different articulated findings, information that was provided during the public hearing, or other matters deemed important by the Board.

### **VOTE #1: APPROVE A STATEMENT ON CONSISTENCY WITH THE PLAN SANLEE AS IT RELATES TO THIS ZONING MAP AMENDMENT:**

Motion Option 1: *“I make a motion that the proposed zoning map amendment **IS** consistent with the Plan SanLee long range plan designation of Mixed-Use Activity Center, because this placetype encourages projects designed as a single master-planned unit that are contextually integrated into the surrounding development pattern with strong mobility linkages within close proximity to highway interchanges and major arterials.”*

Motion Option 2: *“I make a motion that the proposed zoning map amendment **IS NOT** consistent with the Plan SanLee long range plan designation of Mixed-Use Activity Center because... (board member to complete the motion).”*

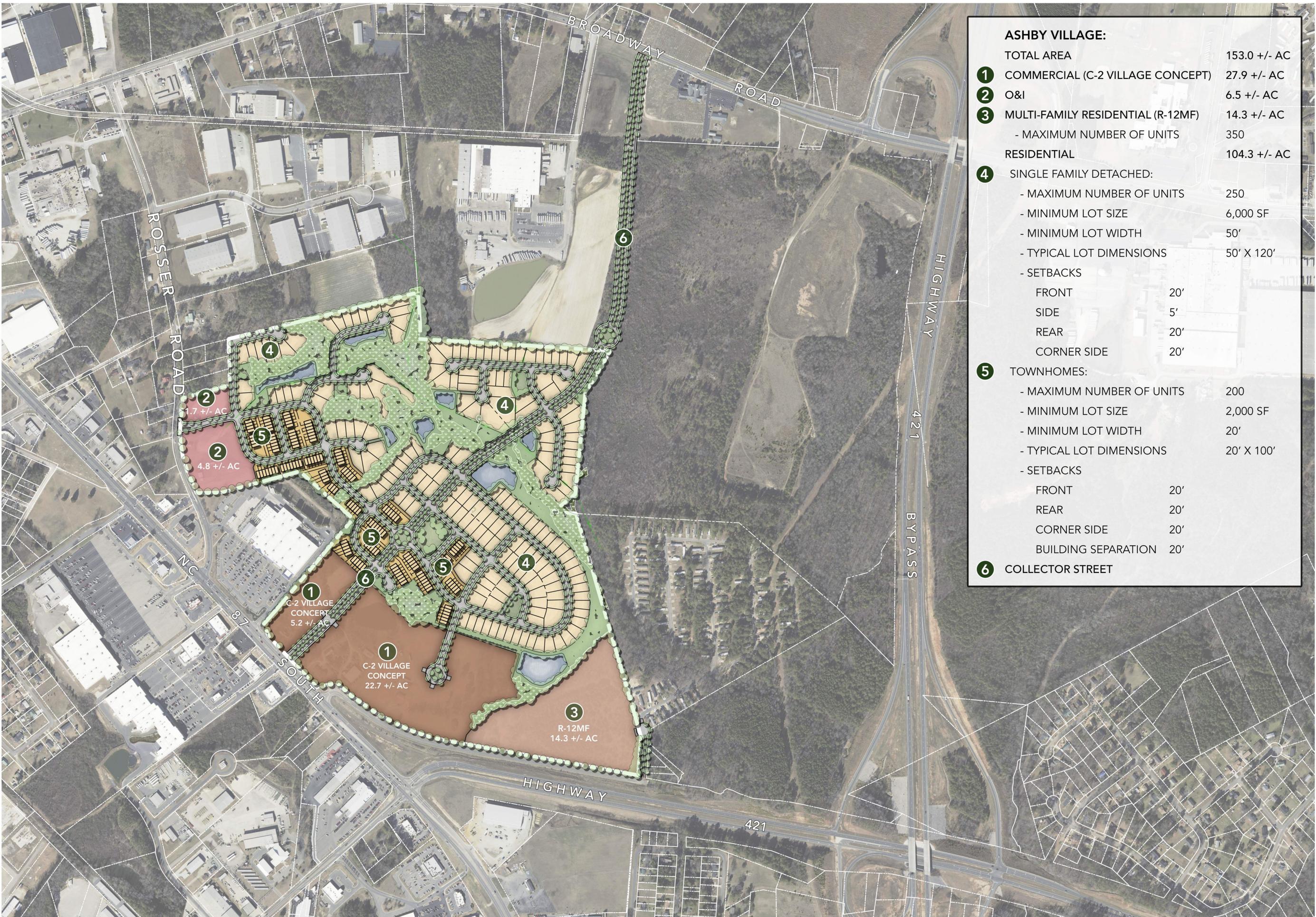
Motion Option 3 - Unique motion: The Planning Board members are free to create a unique motion based on different articulated findings, information that was provided during the public hearing, or other matters deemed important by the Board.

**VOTE #2: TO RECOMMEND THAT THE CITY COUNCIL APPROVE OR DENY THE ZONING MAP AMENDMENT:**

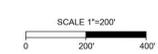
Motion Option 1: *“I make a motion that Planning Board recommend the City Council **APPROVE** the proposed zoning map amendment because it is reasonable and in the public interest given that it provides more detailed information for a conditional zoning district that was approved in 2021.”*

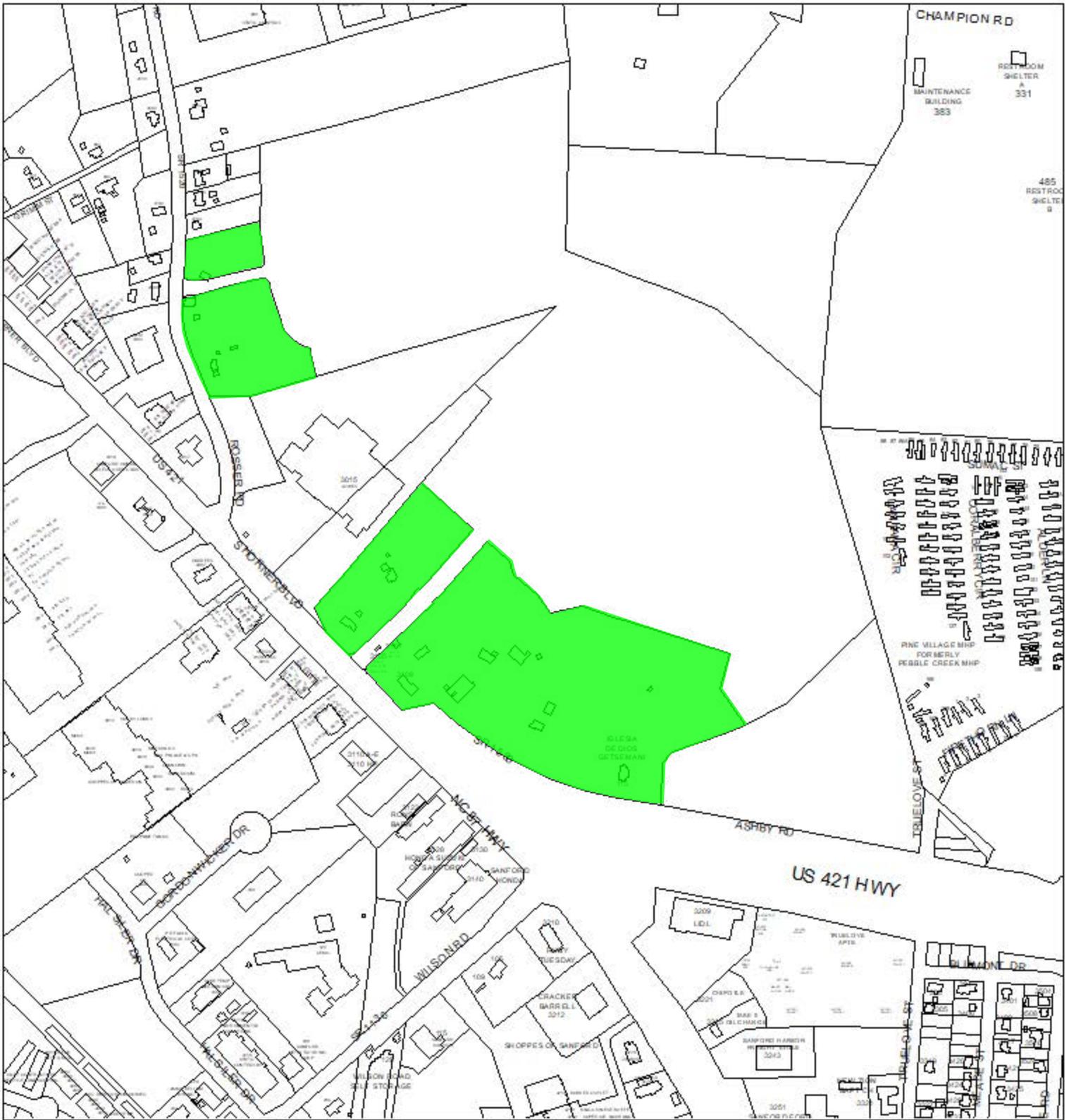
Motion Option 2: *“I make a motion that the Planning Board recommend the City Council **DENY** the rezoning request because it is not reasonable nor in the public interest to allow the development of this site per the detailed information provided.”*

Motion Option 3 - Unique motion: The Planning Board members are free to create a unique motion based on different articulated findings, information that was provided during the public hearing, or other matters deemed important by the Board



ASHBY VILLAGE:	
TOTAL AREA	153.0 +/- AC
<b>1</b> COMMERCIAL (C-2 VILLAGE CONCEPT)	27.9 +/- AC
<b>2</b> O&I	6.5 +/- AC
<b>3</b> MULTI-FAMILY RESIDENTIAL (R-12MF)	14.3 +/- AC
- MAXIMUM NUMBER OF UNITS	350
RESIDENTIAL	104.3 +/- AC
<b>4</b> SINGLE FAMILY DETACHED:	
- MAXIMUM NUMBER OF UNITS	250
- MINIMUM LOT SIZE	6,000 SF
- MINIMUM LOT WIDTH	50'
- TYPICAL LOT DIMENSIONS	50' X 120'
- SETBACKS:	
FRONT	20'
SIDE	5'
REAR	20'
CORNER SIDE	20'
<b>5</b> TOWNHOMES:	
- MAXIMUM NUMBER OF UNITS	200
- MINIMUM LOT SIZE	2,000 SF
- MINIMUM LOT WIDTH	20'
- TYPICAL LOT DIMENSIONS	20' X 100'
- SETBACKS:	
FRONT	20'
REAR	20'
CORNER SIDE	20'
BUILDING SEPARATION	20'
<b>6</b> COLLECTOR STREET	



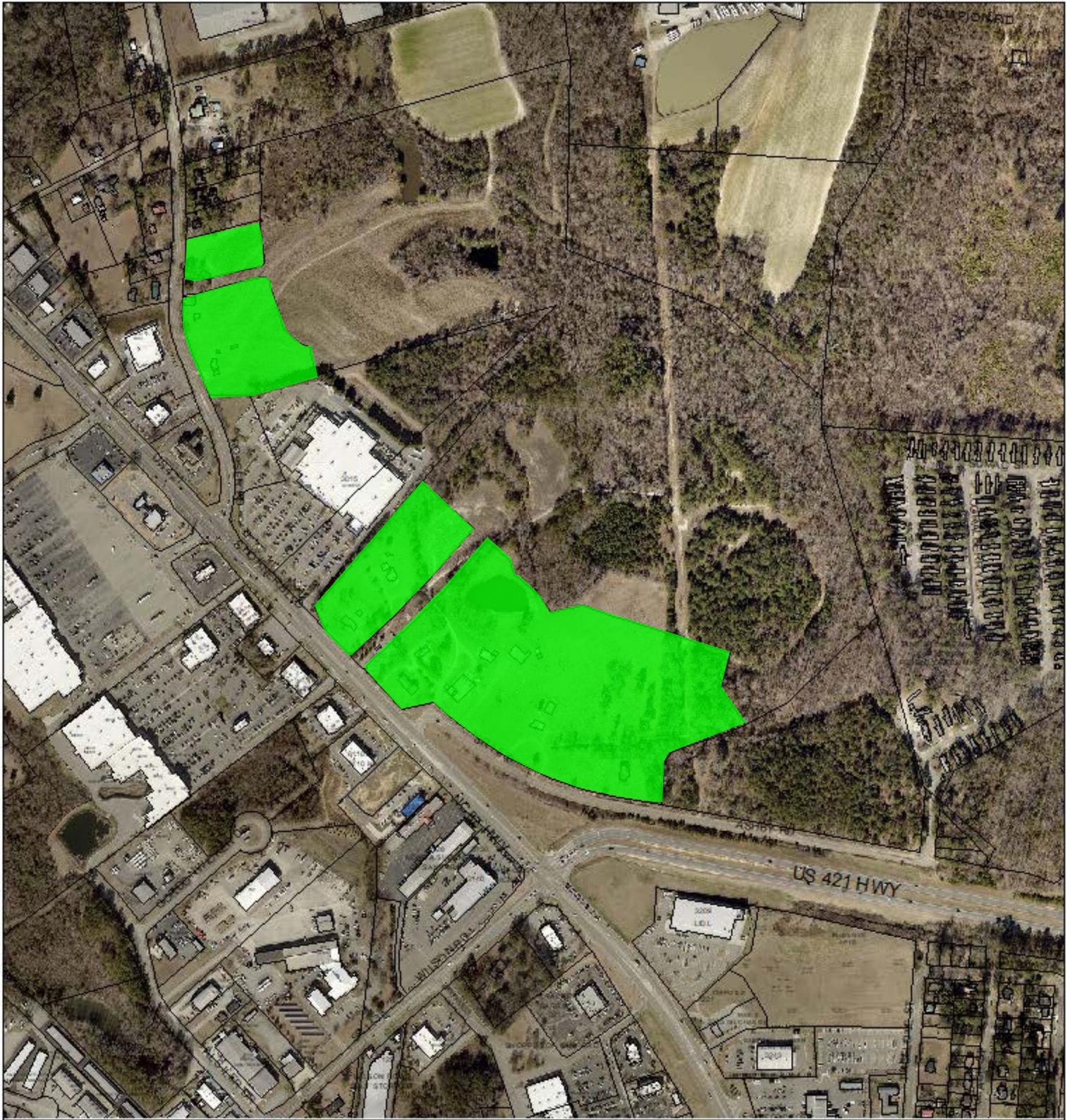


**REZONING APPLICATION:**

**Amend the Ashby Village CZD to provide more detail to the Office & Institutional (O&I) and General Commercial (C-2) areas.**



This is a graphic illustration and not a legal document.  
 All information is comprised of layers of data that may or may not align correctly.

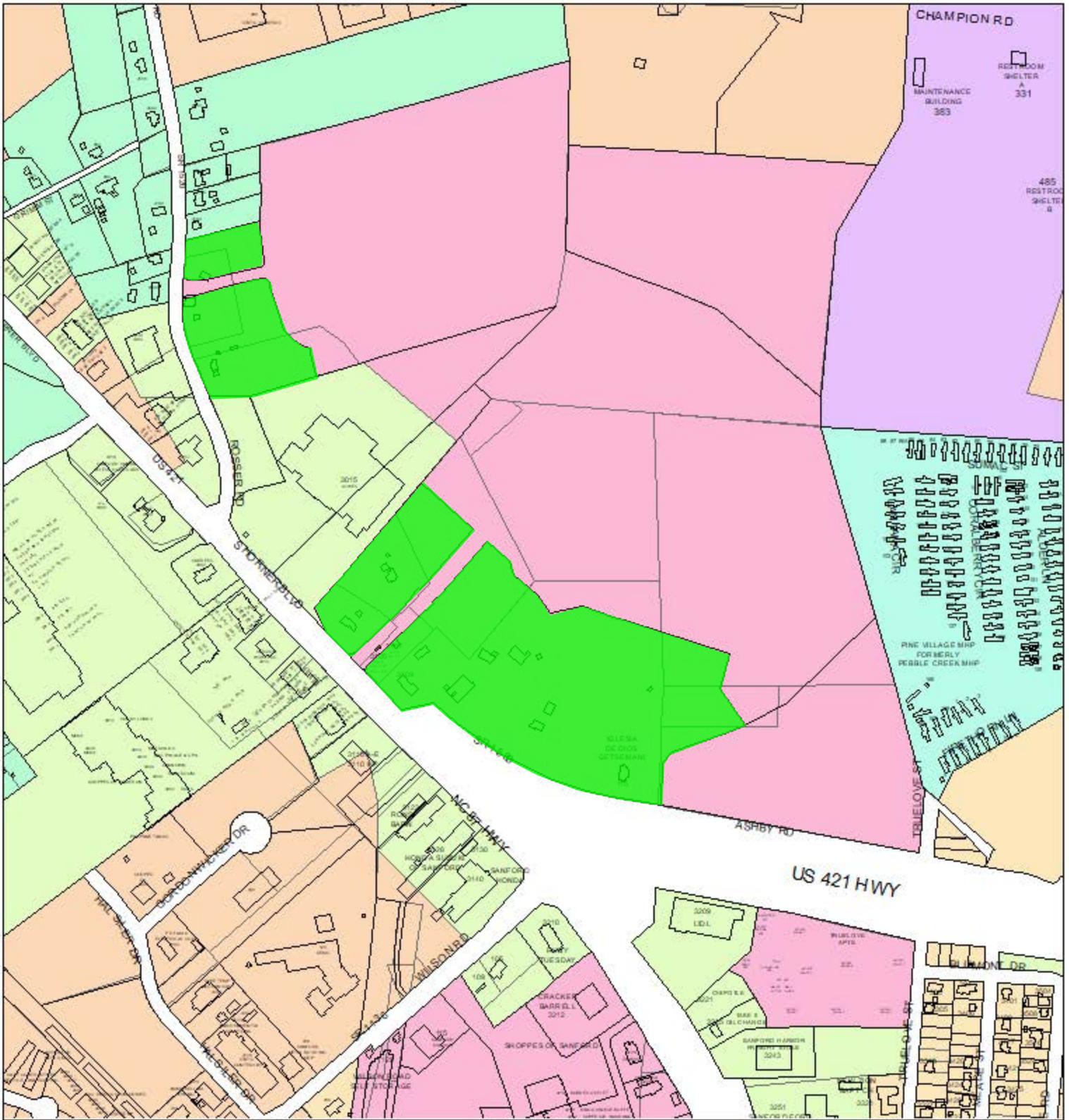


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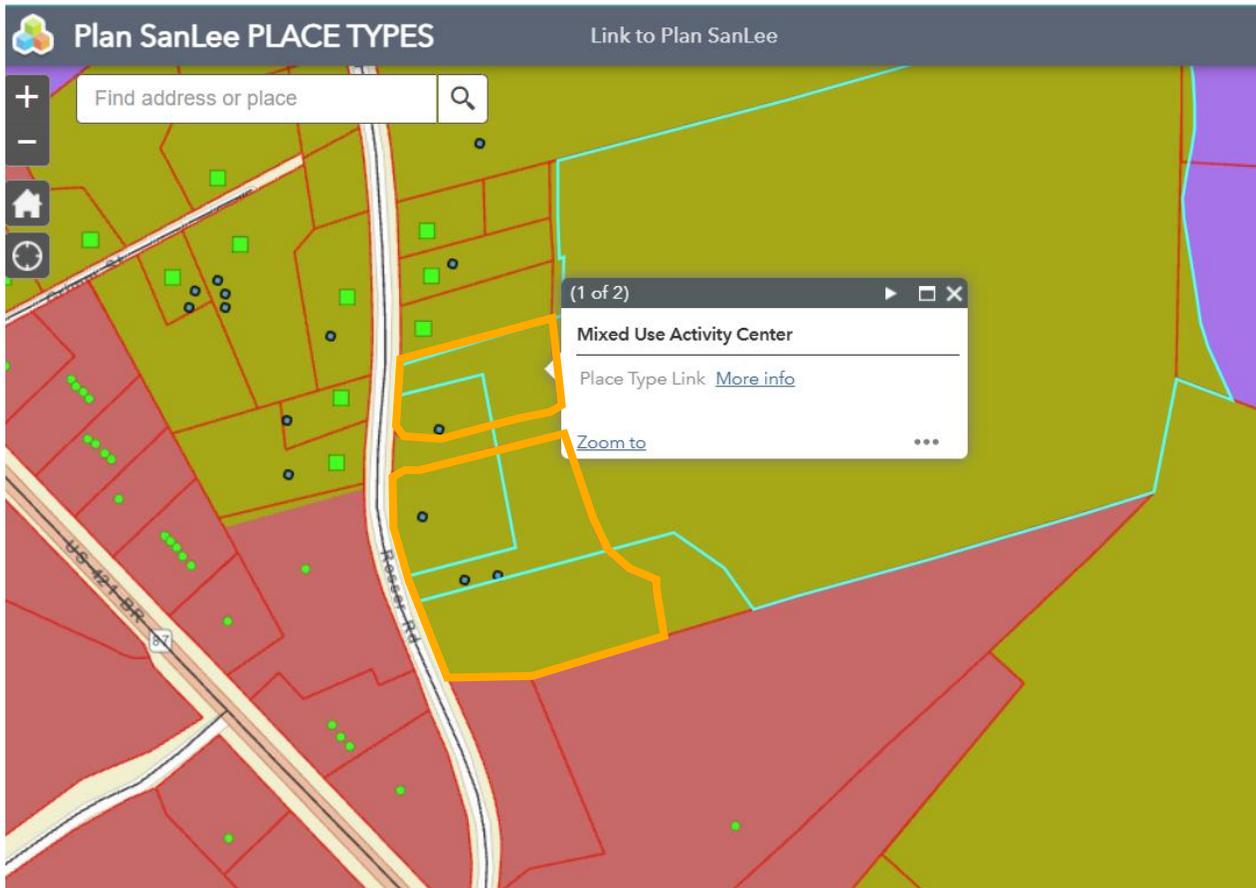


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**Ian SanLee - Long Range Plan – Interactive Map of Site**

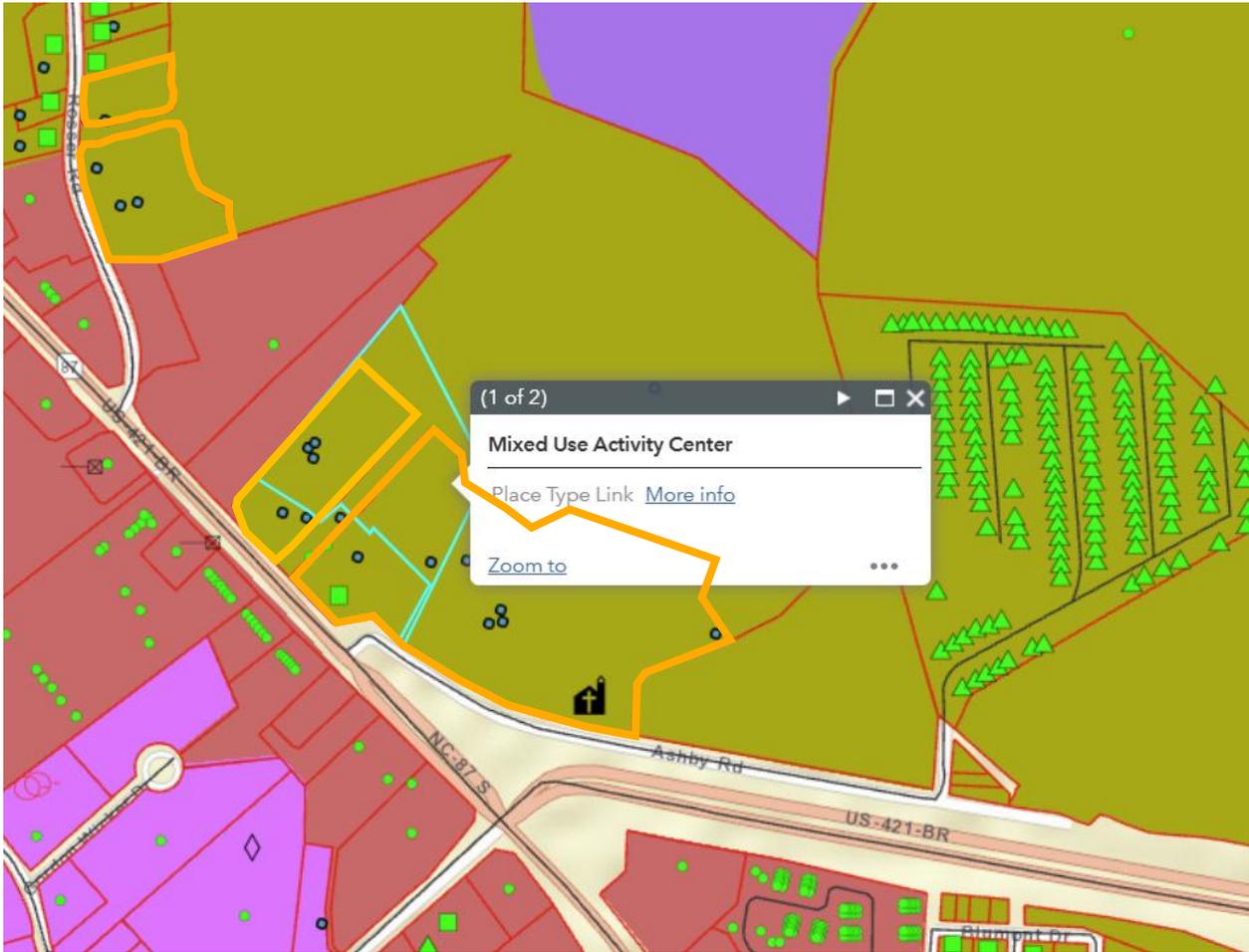


**Place\_Types**

Place Types

- Commercial Corridor
- Countryside
- Crossroads
- Downtown
- Industrial Center
- Maker District
- Mixed Use Activity Center
- Neighborhood Center
- Neighborhood Transition
- Professional and Institutional Campus
- Suburban Neighborhood
- Urban Neighborhood
- Village Center
- Village Neighborhood

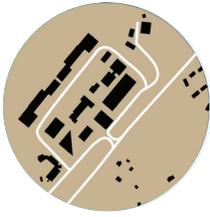
**Ian SanLee - Long Range Plan – Interactive Map of Site**



**Place\_Types**

Place Types

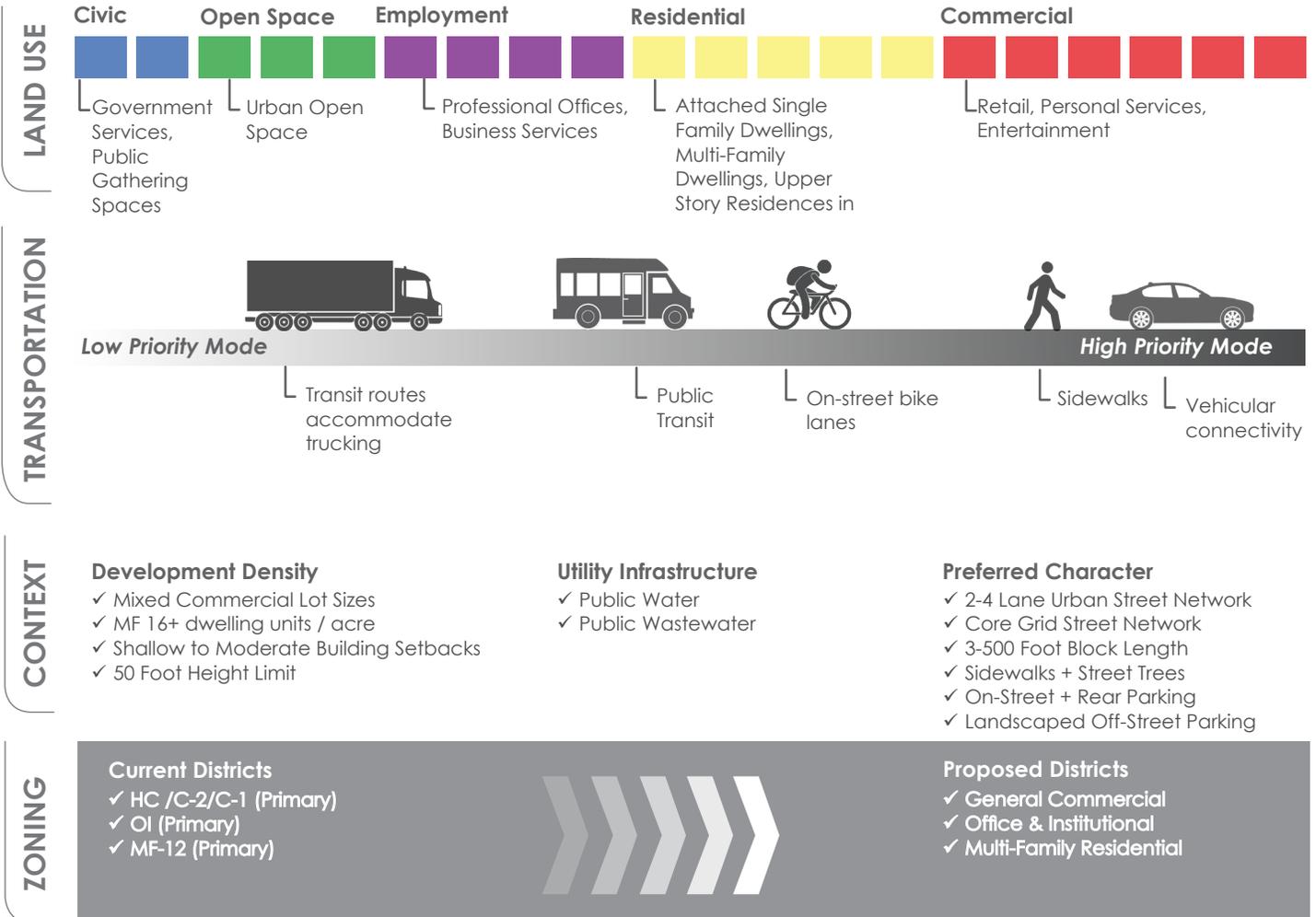
- Commercial Corridor
- Countryside
- Crossroads
- Downtown
- Industrial Center
- Maker District
- Mixed Use Activity Center
- Neighborhood Center
- Neighborhood Transition
- Professional and Institutional Campus
- Suburban Neighborhood
- Urban Neighborhood
- Village Center
- Village Neighborhood



## MIXED USE ACTIVITY CENTER

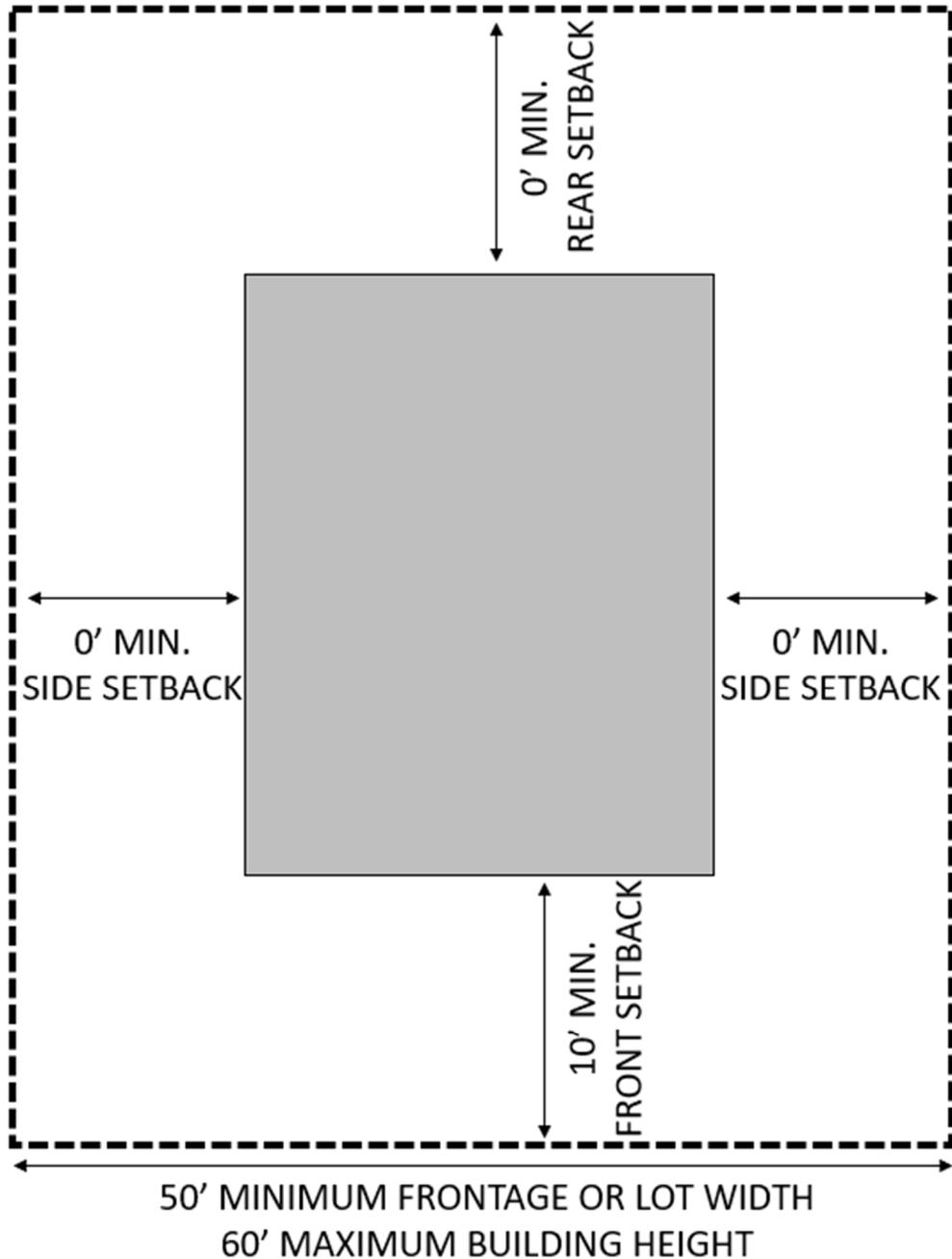
- ✓ Facilitate development of large scale integrated mix of uses
- ✓ Single master-planned unit, but contextually integrated into surrounding development pattern including strong mobility linkages
- ✓ Within close proximity to highway interchanges and major arterials

**Local Example - US 1 / Spring Lane Interchange Area in Sanford**



**O&I OFFICE & INSTITUTIONAL DISTRICT**

The Office & Institutional District is established to provide for agencies and offices rendering specialized services and traditional institutional functions (both public and private) including, but not limited to, governmental facilities, cultural and recreational facilities, educational facilities, and charitable institutions.



**FIGURE 11: OFFICE & INSTITUTIONAL (O&I)**

Updated 05/21/25

## **PERMITTED USES IN O&I OFFICE & INSTITUTIONAL**

### **USES PERMITTED BY RIGHT**

*The uses listed below are permitted as of right.*

<b><u>Accessory Uses</u></b>
Accessory Uses (See §5.1)
<b><u>Accommodations and Group Living</u></b>
Dormitories for the students of colleges, commercial schools, staff of hospitals
Group Home / Residential Care Facility, Level I
Group Home / Residential Care Facility, Level II
Child and youth services
Nursing, supervision, adult care homes, group care facilities and other rehabilitative services
<b><u>General Sales or Service</u></b>
Administrative services, travel arrangement and reservation services, investigation and security services (locksmiths)
Antique shops
Electronic equipment (small) sales and service
Finance and insurance services (bank, credit and finance, insurance related)
Florist
Mail order or direct selling establishments/electronic shopping and mail order houses
Medical equipment sales, rental or leasing
Office building (general)
Personal services (e.g.: nail salons, barbers, shoe repair and similar establishments) not otherwise listed
Pharmacy or drugstore without drive through facility
Printing or publishing services
Professional services (legal, accounting, architectural, graphic, consulting services, research and development, advertising, etc.)
Real estate, sales rental & leasing
Repair of any goods, equipment or vehicles, the manufacture, assembly or sales of which are permitted in that zoning district
Restaurants, no drive-in or drive-through facilities
Services to buildings and dwellings (Extermination, janitorial, landscaping, carpet and upholstery cleaning, packing and crating, etc.) no outside storage
<b><u>Industrial &amp; Manufacturing Use</u></b>
Contractors' offices/shop without outdoor storage areas
<b><u>Arts, Recreation &amp; Entertainment</u></b>
Aquarium or planetarium
Amphitheater
Art galleries
Exhibition convention, or conference structure
Fitness and recreational sports, gym, health, spa, reducing salon, swimming pool/ auditorium, racquet club or athletic club (not otherwise listed)
Golf courses, public and private
Golf driving ranges
Museums art galleries

Updated 05/21/25

Parks, playgrounds, and athletic fields operated on a noncommercial basis
<b>Education, Public Administration, Health Care and Institutional</b>
Civic, social and fraternal organizations, including community centers, meeting halls, community halls, reception halls, wedding halls for assembly and recreation
Crematorium & embalming
Day care facility, adult (See §5.38)
Fire, sheriff and emergency
Funeral homes
Governmental functions, not otherwise listed
Hospitals
Libraries
Medical and dental clinics or offices, ambulatory or outpatient care, family planning and care and blood or organ banks
Post office
Religious complex (less than 350 seats) new site
Religious complex (more than 350 seats) new site
Religious complex (any size), addition to existing complex site
Schools continuing education (alternative, adult colleges and universities and technical, trade, and other specialty schools)
Schools, pre-k – secondary (nursery and preschool, grade schools, elementary, middle and high school), addition to new site
Schools, pre-k – secondary (nursery and preschool, grade schools, elementary, middle and high school), addition to existing site
Schools, fine and performing arts
Social assistance, welfare and charitable services
<b>Transportation, Communication and Utilities</b>
Parking lots, parking structures or underground parking areas (commercial or governmental)
Radio and TV stations and studios (excluding transmission tower)
Utility lines (including electric lines, phone/cable lines distribution circuits, gas/fuel lines/water lines, steam/air conditioning lines, irrigation channels and sewer/waste water lines)
<b>Agriculture</b>
Animal production and support services (unincorporated in Lee County)
Crop production and support functions, (unincorporated in Lee County)
Crop production and support functions (Sanford and Broadway)
Forestry and logging and support services, (unincorporated Lee County)

**PERMITTED USES WITH DEVELOPMENT REGULATIONS**

*The uses listed below are permitted as of right and are also subject to the requirements of Supplemental Development Regulations.*

<b>Residential Uses</b>
Home occupancy (See §5.16)
<b>Accommodations and Group Living</b>
Bed and breakfast inn (See §5.4)
Hotel, motel, and tourist court (See §5.17)

Updated 05/21/25

<b>Industrial &amp; Manufacturing Uses</b>
Landfills, LCID (2 acres or less in size) (See §5.19)
<b>Education, Public Administration, Health</b>
Cemeteries, public and private (does not include individual family plots) (See §5.6)
Day care facility, child care center (See §5.10)
Day care facility, home child care (See §5.10)

**PERMITTED AS A SPECIAL USE**

*Special uses are subject to all other applicable standards of this ordinance and those requirements that may reasonably be imposed by the County of Lee consistent with the criteria set forth in §3.5 of this ordinance and any Development Regulations which may apply to said use.*

<b>Residential Uses</b>
Dwelling, duplex (two-family dwelling) (See §5.47)
Dwelling, modular home
Dwelling, single-family detached
<b>Accommodations and Group Living</b>
Group Home / Residential Care Facility, Level III
Group Home / Residential Care Facility, Level IV
<b>Art, Recreation &amp; Entertainment</b>
Sports stadiums or arenas
<b>Transportation, Communication, and Utilities</b>
Sewage treatment and water treatment plants

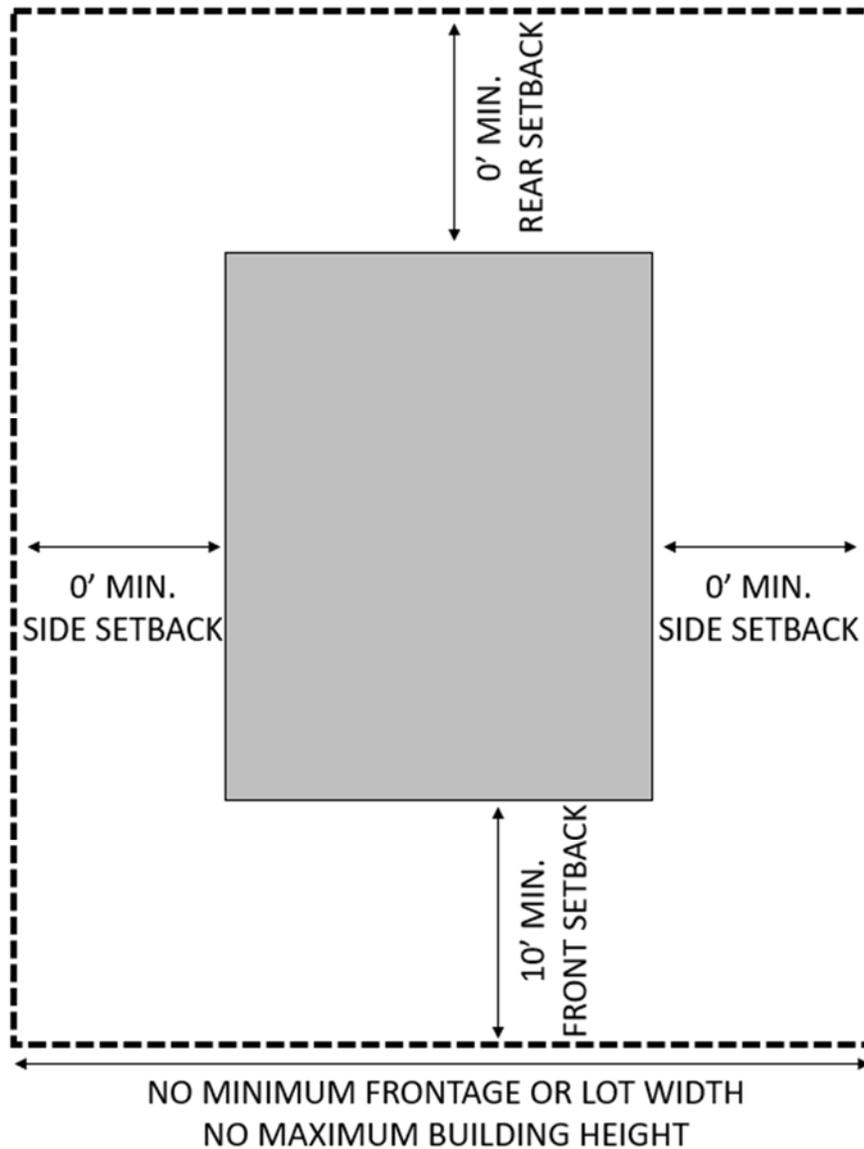
**PERMITTED AS A SPECIAL USE WITH DEVELOPMENT REGULATIONS**

*The uses below are permitted as a special use, but will also be subject to Supplement Development Regulations.*

<b>Residential Uses</b>
Dwelling, multifamily (three or more units) (See §10.3)
Dwelling, single-family attached (townhouses) (See §5.50)
<b>Industrial &amp; Manufacturing Uses</b>
Landfills, C&D or LCID (greater than 2 acres in size) (See §5.20)
<b>Transportation, Communication, and Utilities</b>
Solar collectors, commercial (See §5.39)
Telecommunication Towers (See §5.33)

**C-2 GENERAL COMMERCIAL DISTRICT**

The “C-2” district is established to provide areas for general commercial activities designed to serve the community such as shopping centers, repair shops, wholesale businesses, and retail sales with limited outdoor display of goods and limited outdoor operations. This district promotes a broad range of commercial operations and services necessary for large regions of the County, providing community balance. “C-2” zones should be located on or within proximity to major thoroughfares. This shall not apply where an existing building or structure used as permitted within the “C-2” District has been established prior to the adoption of this Ordinance on a parcel subject to an application for rezoning.



**FIGURE 13: GENERAL COMMERCIAL (C-2)**

Updated 05/21/25

**PERMITTED USES IN C-2 GENERAL COMMERCIAL****USES PERMITTED BY RIGHT**

The uses listed below are permitted as of right.

<b><u>Accessory Uses</u></b>
Accessory Uses (See §5.1)
<b><u>Accommodations and Group Living</u></b>
Dormitories for the students of colleges, commercial schools, staff of hospitals
Group Home / Residential Care Facility, Level I
Group Home / Residential Care Facility, Level II
Nursing, Supervision, Adult Care Homes, Group Care Facilities and other rehabilitative services
<b><u>General Sales or Service</u></b>
ABC Store (liquor sales), incorporated area only
Administrative Services, Travel Arrangement and Reservation Services, Investigation and Security Services (locksmiths)
Agricultural equipment, sales and service
Antique shops
Appliance sales Repair and Maintenance, (no outside storage)
Art dealers, supplies, sales and services
Auction sales, general merchandise (no vehicular sales)
Bakeries, retail, including manufacturing of goods for sales on the premises only
Bicycle (non motorized) Sales and/or Repair
Books, magazines, music, etc.
Camera and photographic supplies
Clothing, jewelry, luggage, shoes, etc.
Computer and Software Sales
Consumer goods, not otherwise listed
Convenience store, without gas sales
Convenience store, with gas sales
Consignment shops, used merchandise store (not otherwise listed)
Dry cleaning and laundry
Electronic equipment (small), sales and service
Farm, Landscape, and Garden Supply Sales (feed, seed, fertilizer, farm hardware, lawn furniture, mulch, fencing, fountains, statuaries, and other incidental sales of products or related items) (with indoor storage)
Farm, Landscape, and Garden Supply Sales (feed, seed, fertilizer, farm hardware, lawn furniture, mulch, fencing, fountains, statuaries, and other incidental sales of products or related items) (outdoor storage)
Farmers Markets and market shops, including open markets
Finance and insurance services (Bank, credit and finance, insurance related)
Flea markets (indoors)
Florist
Furniture or home furnishing sales

Updated 05/21/25

Gasoline stations
Grocery stores and supermarkets (less than 25,000 sq. ft. GFA)
Grocery stores and supermarkets (more than 25,000 sq. ft. GFA)
Hardware, home centers, lumber yard, heating and plumbing etc. outside storage
Hardware, home centers, lumber yard, heating and plumbing etc. inside storage
Heavy equipment, sales and service
Leasing/rental recreational goods (furniture art, supplies, sporting goods)
Leasing, commercial and industrial machinery and equipment
Gun shops and gunsmiths
Mail order or direct selling establishments/ electronic shopping and mail order houses
Medical equipment sales, rental or leasing
Monument and cut stone sales
Motion picture, video and audio production
Motorcycle, motorized scooters, ATV sales and/or leasing / rental (indoor display)
Motorcycle, motorized scooters, ATV sales and/or leasing / rental (outdoor display)
Motor vehicle parts, accessories, tire sales, enclosed building only
Motor vehicle motorcycle, ATV's boats, RV's, etc. repair and service
Nurseries and greenhouses, commercial (See §5.25)
Office building (general)
Palmistry services, fortune tellers, astrologers
Pawnshops (as defined by NCGS §91A-2)
Personal services (e.g. nail salons, barbers, shoe repair and similar establishments) not otherwise listed
Pet store or pet supply store
Pharmacy or drugstore, without drive through facility
Pharmacy or drugstore, with drive through facility
Printing and publishing services
Professional services (legal, accounting, architectural, graphic, consulting services, research and development, advertising, etc.
Real estate, sales, rental & leasing
Repair of any goods, equipment or vehicles, the manufacture, assembly or sales of which are permitted, in that zoning district
Restaurants, with drive-in or drive-through facilities
Restaurants, no drive-in or drive-through facilities
Retail sales or service establishments, not listed elsewhere, and conducted within an enclosed building
Services to buildings and dwellings (Extermination, janitorial, landscaping, carpet and upholstery, cleaning, packing and crating, etc. no outside storage
Service to buildings and dwellings (extermination, janitorial, landscaping, carpet and upholstery cleaning, packing and crating etc. with outside storage
Shopping center, less than 25,000 sq. ft.
Sporting goods, toys, and hobby sales, excluding guns and gunsmiths
Tattoo parlor/tattoo studio and/or body piercing
Tobacco or tobacconist

Updated 05/21/25

Upholstery and furniture refinishing
Wholesale trade, generally, with operations conducted and merchandise stored entirely within a building and not otherwise listed
<b><u>Industrial &amp; Manufacturing Uses</u></b>
Contractor's offices/shop without outdoor storage areas
Paper printing materials manufacturing
Pottery manufacturing & sales
Sign manufacturing
Warehouse structures, generally
<b><u>Arts, Recreation &amp; Entertainment</u></b>
Aquarium or planetarium
Amphitheater
Art galleries
Botanical gardens & arboreta
Bowling Alley
Exhibition, convention, or conference structure
Fitness and recreational sports, gym, health spa, reducing salon, swimming pool auditorium racquet club or athletic club (not otherwise listed)
Golf driving ranges
Golf, miniature
Movie theater
Museums and art galleries
Outdoor stage, bandstand, or similar structure (maximum 3,000 sq. ft.)
Parks, playgrounds, and athletic fields, operated on a noncommercial basis
Performance theaters (outdoor)
Performance theaters or auditoria (indoor)
Recreation activities, commercial indoor, not otherwise listed
Skating rink – Ice or roller skating
Sports stadiums or arenas
Studios for artists, designers, musicians, photographers, sculptors, woodworking (not as home occupation)
Zoos
<b><u>Education, Public Administration, Health Care and Institutional</u></b>
Civic, social, and fraternal organizations, including community centers, meeting halls, community halls, reception halls, wedding halls for assembly and recreation
Crematorium & Embalming
Day Care facility, adult (See §5.38)
Fire, sheriff, and emergency services
Funeral homes
Governmental functions, not otherwise listed
Hospitals
Libraries
Medical and dental clinics or offices, ambulatory or outpatient care, family planning and care, and blood or organ banks

Updated 05/21/25

Post office
Religious complex (less than 350 seats), new site
Religious complex (more than 350 seats) new site
Religious complex (any size), addition to existing complex/site
Schools, continuing education (alternative, adult, colleges and universities and technical, trade and other specialty schools)
Schools, Pre-K-secondary (nursery and preschool, grade schools, elementary, middle and high school), new site
Schools, Pre-K-secondary (nursery and preschool, grade school, elementary, middle, and high school), addition to existing site
Schools, fine and performing arts
Social assistance, welfare and charitable services
<b><u>Transportation, Communication, and Utilities</u></b>
Bus passenger stations/terminals/shelters
Parking lots, parking structures or underground parking areas (commercial or governmental)
Radio and TV stations and studios (excluding transmission tower)
Taxi and limousine service
Utility lines (including, electric lines, phone/cable lines, distribution circuits, gas/fuel water lines, steam/ air conditioning lines, irrigation channels and sewer/waste water lines)
<b><u>Agriculture</u></b>
Animal production and support services (unincorporated Lee County)
Crop production and support functions (unincorporated Lee County)
Crop production and support functions, (Sanford and Broadway)
Forestry and logging and support services (unincorporated Lee County)

### **PERMITTED USES WITH DEVELOPMENT REGULATIONS**

The uses listed below are permitted as of right and are also subject to the requirements of Supplemental Development Regulations.

<b><u>Residential Uses</u></b>
Home Occupations <i>(See §5.16)</i>
<b><u>Accommodations and Group Living</u></b>
Bed and breakfast inn <i>(See §5.4)</i>
Hotel, Motel and tourist court <i>(See §5.17)</i>
<b><u>General Sales or Service</u></b>
Animal hospitals, veterinary services, animal shelters, kennels/ animal pet services <i>(See §5.3)</i>
Car washes and car care centers <i>(See §5.5)</i>
Flea markets (outdoors) <i>(See §5.14)</i>
Food truck parks <i>(See §5.47 or 5.48 depending on jurisdiction)</i>
Freestanding ice vending unit <i>(See §5.37)</i>
Mini Warehousing/self-service storage leasing <i>(See §5.22)</i>
Motor vehicles, Boats, RV's sales and/or leasing/rental <i>(See §5.24)</i>
Shopping center / superstore 25,000 – 100,00 sq. ft. <i>(See §10.2)</i>

Updated 05/21/25

Shopping center / superstores, over 100,000 sq. ft. (See §10.2)
Wine shop (See §5.43)
<b><u>Industrial &amp; Manufacturing Uses</u></b>
Brewery (microbrewery) (See §5.42)
Landfills, LCID (2 acres or less in size) (See §5.19)
<b><u>Arts, Recreation &amp; Entertainment</u></b>
Drive in theaters (See §5.11)
Entertainment establishment (lounges, discos, nightclubs, pool halls and/or private clubs (See §5.26)
Recreation activities, commercial outdoor (defined in Article 5), not otherwise listed (See §5.28)
<b><u>Education, Public, Administration, Health Care and Institutional</u></b>
Cemeteries, public and private (does not include individual family plots) (See §5.6)
Community food service (See §5.7)
Day Care facility, child care center (See §5.10)
Day care facility, home child care (See §5.10)

**PERMITTED AS A SPECIAL USE**

*Special uses are subject to all other applicable standards of this ordinance and those requirements that may reasonably be imposed by the County of Lee consistent with the criteria set forth in §3.5 of this ordinance any Development Regulations which apply to said use.*

<b><u>Accommodations and Group Living</u></b>
Group Home / Residential Care Facility, Level III
Group Home / Residential Care Facility, Level IV
<b><u>Industrial &amp; Manufacturing Uses</u></b>
Contractors’ offices/shop with outdoor storage areas
Manufacturing, excluding others uses listed in this table
<b><u>Arts, Recreation, &amp; Entertainment</u></b>
Amusement or theme park establishment
<b><u>Transportation, Communication &amp; Utilities</u></b>
Public utility storage and service yards
Sewage treatment and water treatment plants

**PERMITTED AS A SPECIAL USE WITH DEVELOPMENT REGULATIONS**

*The uses below are permitted as a special use, but will also be subject to the requirements of Supplement Development Regulations.*

<b><u>Transportation, Communications, and Utilities</u></b>
Solar collectors, commercial (See §5.39)
Telecommunication towers (See §5.33)
<b><u>Industrial &amp; Manufacturing Uses</u></b>
Landfills, C&D or LCID (greater than 2 acres in size) (See §5.20)

**ADJOINING PROPERTY OWNERS LIST**

PETITION BY: Application by Atwell, LLC d/b/a Atwell, PLLC; contact person, Michael J. Kane  
 REQUEST: Amend the existing Ashby Village Conditional Zoning District to provide more detail to the Office & Institutional (O&I) and the General Commercial (C-2) portions of the Ashby Village project that was approved via the site plan/subdivision plan conditional zoning process in 2021  
 LOCATION: Frontage on Rosser Road and S. Horner Blvd  
 PIN: 9652-90-4777-00, 9652-90-5390-00, 9661-09-2400-00, and 9661-08-9921-00  
 DATE: 2025-12-09

No.	PIN	PROPERTY ADDRESS	OWNER 1	OWNER 2	ML	MAIL STREET	MAIL CITY	STATE	ZIP
01	9652-90-4983-00 (house)	2709 ROSSER RD	RED CRANE PROPERTIES LLC	-	1146	THOMAS KELLY ROAD	SANFORD	NC	27330
02	9661-19-5841-00	0 HORNER BLVD	ASHBY VILLAGE HOLDINGS LLC	-	5	CENTURY DRIVE	GREENVILLE	SC	29607
03	9662-00-1085-00 Lowe's Home Improvement	3015 HORNER BLVD	THE CONTRACTOR YARD INC	-	1000	LOWES BLVD	MOORESVILLE	NC	28117
04	9651-99-5984-00 Lowe's Home Improvement	0 ROSSER RD	THE CONTRACTOR YARD INC	-	1000	LOWES BLVD	MOORESVILLE	NC	28117
05	9661-09-1785-00 Lowe's Home Improvement	3019 HORNER BLVD	THE CONTRACTOR YARD INC	-	1000	LOWES BLVD	MOORESVILLE	NC	28117
06	9661-28-0538-00	0 S HORNER BLVD	D.R. HORTON INC	-	2000	AERIAL CENTER PARKWAY	MORRISVILLE	NC	27560
Opposite side / south side of US 421 Hwy									
07	9661-17-5821-00 Lidl	3209 S NC 87 HWY	LIDL US OPERATIONS LLC	-	3500	S CLARK STREET	ARLINGTON	VA	22202
Opposite side /south side of S. Horner Blvd / NC Hwy 87 S									
08	9661-07-9708-00 Ruby Tuesday	3210 S HORNER BLVD	WAGS SANFORD LLC	-	4228	STATE STREET	ERIE	PA	16508
09	9661-07-5908-00 Sanford Honda	3130 S HORNER BLVD 3140 S HORNER BLVD	TACOHEAD ENTERPRISES LLC	-	-	PO BOX 17	BIGHORN	MT	59010
10	9661-08-3262-00 Honda Suzuki of Sanford and Ron's Barn	3122 S HORNER BLVD 3128 S HORNER BLVD	BARKER, LYNN DEE & CAROL HANCOCK/TR	THE LYNN & CAROL BARKER LIVING TRUST	982	PENDERGRASS ROAD	SANFORD	NC	27330
11A	9661-08-1392-00 Modwash	3120 S HORNER BLVD	HUTTON SANFORD MT LLC	-	736	CHERRY STREET	CHATTANOOGA	TN	37402
11B	9661-08-1478-00 Del Taco site	3116 S HORNER BLVD	TALEEN LLC	-	227	STROLLING WAY	DURHAM	NC	27707
12	9651-98-9469-00 Mattress Warehouse Jersey Mikes Sport Clips Haircuts (vacant) FirstHealth Family Medicine	3110 A-E S HORNER BLVD	MATTSANTEX LLC	-	-	PO BOX 11908	CHARLOTTE	NC	28220
13	9651-98-9715-00 Dunkin Donuts T-Mobile Jimmy Johns	3100-3108 S HORNER BLVD	AG CAMERON SHOPS LLC	-	1049	DRESSER CT	RALEIGH	NC	27609

	The Vitamin Shoppe								
14	9651-98-0533-00 Buffalo Wild Wings The UPS Store Toyko Express Tropical Smoothie Café AT&T	3010-3100 S HORNER BLVD	CC CAMERON LLC	-	1111	METROPOLITAN AVENUE	CHARLOTTE	NC	28204
15	9651-99-6087-00 Verizon	3014 S HORNER BLVD	BB SANFORD LLC	-	2320	BEECHTREE ROAD	RALEIGH	NC	27609
Opposite side / north side of S. Horner Blvd / NC Hwy 87 S; between S. Horner Blvd and Rosser Road									
16	9651-99-3859-00 First Horizon Bank	2917 S HORNER BLVD	CAPITAL BANK NATIONAL ASSOCIATION	-	-	PO BOX 2078	MEMPHIS	TN	38101
17	9652-90-1087-00 Starbucks Mattress Firm	2905-207 S HORNER BLVD	PERFORMANCE DRIVE PROPERTIES LLC	-	8185	WOOD STREET	MOUNT PLEASANT	NC	28124
18	9652-90-1333-00 Aldi	2903 S HORNER BLVD	ALDI (N.C.) LLC	-	-	PO BOX 460049	HOUSTON	TX	77056
19	9652-90-0539-00 (house)	2800 ROSSER RD	COX, RANDY L	COX, SOPHIA R	192	MONARCH LANE	SANFORD	NC	27330
20	9652-90-1741-00 (house)	2716 ROSSER RD	SATTERFIELD, REBECCA NELL	-	2716	ROSSER ROAD	SANFORD	NC	27330
21	9652-90-1984-00 (house)	2708 ROSSER RD	GREAT HOPE PROPERTIES LLC	-	-	PO BOX 1248	SANFORD	NC	27331
22	APPLICANT	Applicant: Atwell, LLC d/b/a Atwell, PLLC	Contact: Michael J. Kane, P.E.		209	N. Salem Street, Suite 220	Apex	NC	27502
23	PROPERTY OWNER	Centerpoint Investments, LLC		-	-	PO Box 1897	Apex	NC	27502

Note: "0" property number = Vacant, no addressed structures on parcel

# City of Sanford Planning Board & City Council Joint Public Hearing

## Text Amendment Summary (Public Hearing Cases 2026-0102 through 2026-0106) January 20<sup>th</sup>, 2026

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The following text amendments are organized by Article within the UDO. Proposed changes to the language are indicated by *red text*. Sections within each Article of the UDO that are the subject of a proposed text amendment are broken down by individually with bullet points.

### Zoning Text Amendment, Case 2026-0102

Proposed text amendment revisions to UDO’s Appendices:

- Addition of the term “outparcel” to the UDO’s glossary, found in **Appendix A (Definitions)**:

**OUTPARCEL**

A parcel of land located on the perimeter of a larger commercial parcel. Outparcels are individual retail sites that are subordinate to the larger parcel for access, drainage, and parking purposes.

- Revision of language in **Appendix B (Specifications for Forms to be Submitted)**, specifically for *Certificate of Approval of Private Water Supply and/or Sewage Disposal System* certificate to align with updated state statutes:

**CERTIFICATE OF APPROVAL OF PRIVATE WATER SUPPLY AND/OR SEWAGE DISPOSAL SYSTEM**  
(Use for all jurisdictions, if applicable)

I hereby certify that the lot(s) on this plat have been evaluated under the current provisions of Title ~~15A NCAC 18A .1900 et seq.~~ Title 15A NCAC 18E et seq., and the Regulations Governing Construction and Abandonment of Wells in ~~Lee County North Carolina~~ and found to have (adequate space for an on-site, individual, private water source and)\* acceptable soils for an on-site, subsurface sewage treatment and disposal system. NOTE: Due to variations in siting specific uses and potential for changes in regulations or soil conditions, issuance of a Well Permit or Improvement Permit by Lee County Environmental Health is not guaranteed.

\_\_\_\_\_(SEAL)  
Licensed Soil Scientist

\_\_\_\_\_  
Date

License No.

\* NOTE: Delete this language if a public water supply exists to serve each lot. If public water mains need to be extended to serve the lot(s), the procedures for a major subdivision must be followed.

## **Zoning Text Amendment, Case 2026-0103**

Proposed text amendment revisions to UDO's Article 2, Section 3 (§2.3.4) relating to the Town of Broadway's Planning Board member appointment process, to match the Town of Broadway's updated municipal code:

### **2.3.4 MEMBERSHIP AND APPOINTMENTS FOR THE TOWN OF BROADWAY**

**2.3.4.1** Appointment and membership within the Town of Broadway Planning Board shall be in accordance with ~~Sections 151.01-151.03~~ §2-2 of the Town of Broadway *Code of Ordinances*.

**2.3.4.2** The Board shall annually elect one of its members as chairperson and another as vice-chairperson. Election of officers shall be in accordance with ~~Section 151.04~~ §2-2 of the Town of Broadway *Code of Ordinances*.

**2.3.4.3** The conduct of meetings of the Planning Board shall be in accordance with ~~Section 151.05~~ §2-2 of the Town of Broadway *Code of Ordinances*.

## Zoning Text Amendment, Case 2026-0104

Proposed text amendments for Article 4 of the Unified Development Ordinance, including the following:

- Adding a note to **Table 4.7-1: Density and Dimensional Standards** that explicitly exempts cul-de-sac lots from the lot width-to-depth ratio requirement for major subdivisions.

TABLE 4.7-1: DENSITY AND DIMENSIONAL STANDARDS

ZONING DISTRICT	Minimum Lot Size (Sq. Ft.) (see Note 2)	Maximum Density (Units per Acre)	Maximum Impervious Surface Ratio (see Note 3)	Minimum Lot Width (in feet) (see Notes 2 and 5)	Minimum Lot Depth (in feet) (see note 5)	Maximum Lot Width-to-Depth Ratio (See Note 4)	Maximum Building Height (in feet)	Minimum Front Setback (in feet) (see Note 2)	Minimum Side Setback (in feet) (see Notes 2 & 9)	Minimum Rear Setback (in feet) (see Note 2)
RESIDENTIAL AGRICULTURAL (RA)	40,000	-	-	100	150	1:6	40	30	15	30
RESTRICTED RESIDENTIAL (RR)	30,000	-	-	100	125	1:6	40	30	15	30
RURAL NEIGHBORHOOD (RN-20)	20,000	-	-	80	125	1:4	40	30	12	12
SUBURBAN NEIGHBORHOOD (LOW) (SN-12)	12,000	-	-	75	100	1:4	40	20	10	10
SUBURBAN NEIGHBORHOOD (MEDIUM) (SN-9)	9,000	-	-	60	100	1:4	40	20	8	10
URBAN NEIGHBORHOOD (UN-6) <i>for detached single-family</i>	6,000	-	-	50	100	1:4	40	20	5	10
URBAN NEIGHBORHOOD (UN-6) <i>for attached single-family (townhouses)</i>	2,000	-	-	20	100	1:4	40	20	0 or 5	10
MULTI-FAMILY (MF-12)	-	12	-	50	100		60	20	20	20
NEIGHBORHOOD COMMERCIAL (NC)	-	-	0.7	50	100		50	10	0	0
OFFICE & INSTITUTIONAL (O&I)	-	-	0.7	50	100		60	10	0	0
LIGHT COMMERCIAL & OFFICE (C-1)	-	-	0.7	50	100		50	10	0	0
HIGHWAY COMMERCIAL (HC)	-	-	0.8	50	100		-	10	0	0
GENERAL COMMERCIAL (C-2)	-	-	0.8	50	100		-	10	0	0
CENTRAL BUSINESS DISTRICT (CBD)	-	-	1.0	-	-		-	0	0	0
LIGHT INDUSTRIAL (LI)	-	-	0.8	80	100		-	30	0	0
HEAVY INDUSTRIAL (HI)	-	-	0.9	100	100		-	30	0	0

**NOTE 4:** The Maximum Lot Width-to-Depth ratio applies to all lots created under the Major Subdivision procedure as set forth in Article 6 of this UDO, **except for cul-de-sac lots, which shall be exempt from this provision.** Lots created under the Minor Subdivision procedures are exempt from these requirements.



- Proposed text amendments for **§4.11 Village Neighborhood Development (VND)** to update limited portions of the development standards found therein.

**4.10.4 LOT SIZE DIVERSITY STANDARDS**

A diversity in housing types and lot sizes is encouraged. Each VND development shall have a variety of housing choices provided for homebuyers.

**TABLE 4.10-2 LOT SIZE CATEGORIES**

<del>1) Single-family detached dwellings on <b>large lots</b> (&gt;11,999sf)</del>
<del>2) Single-family detached dwellings on <b>medium lots</b> (9,000 – 11,999sf)</del>
<del>3) Single-family detached dwellings on <b>small lots</b> (6,000-8,999sf)</del>
<del>4) Single-family detached dwellings, including <b>duplexes</b> or <b>townhomes</b> (2,000-4,000sf)</del>

Minimum Lot Size	Minimum Lot Width	Minimum Front Setback	Minimum Side Setback	Minimum Rear Setback
<b>Townhouse Lot</b> (min. 2,000sf)	<b>REFER TO TABLE 4.7-1 AND §5.50 FOR TOWNHOUSE STANDARDS</b>			
<b>Cottage Lot</b> (min. 4,000sf)	40ft	10ft	5ft	10ft
<b>Small Lot</b> (min. 6,000sf)	50ft	20ft	5ft	10ft
<b>Medium Lot</b> (min. 9,000sf)	60ft	20ft	8ft	10ft
<b>Large Lot</b> (min. 12,000sf)	75ft	20ft	10ft	10ft

**4.10.4.1** For every ~~125~~ 200 units of single-family residential dwellings proposed within a VND project, another lot size must be provided within the development as shown in Table 4.10-2 ~~until all lot size types are provided (e.g.: if a development exceeds 1,000 lots, all five lot size types must be included in the design).~~ Each lot size category provided shall not be less than 5% of the total number of lots proposed. ~~If a proposal exceeds 125 units, the ratio of similar sized lots must be approximately 1:1.~~

~~For example, if a subdivider proposes a 150-lot development, 75 lots should be of one particular lot size put forth in Table 4.8-1, and 75 lots should be of another size. Dwelling units associated with multifamily residential shall not count towards the 125-unit threshold.~~

**4.10.5.4** The minimum lot dimensions, setbacks, and development intensities for principal buildings shall be as set forth in Table ~~4.7-1~~ 4.10-2 of this Ordinance. Setbacks for accessory structures shall comply with § 5.1 of this Ordinance. The frontage and setback requirements shall not apply to Parks and Open Space.

For any single-family detached lots proposed to have a minimum lot width less than 50ft, the lots must be rear-loaded and served by either a back alley or, if creating a double-frontage lot, a public street.

**4.10.5.5** Corner lot setbacks shall be the same as a front setback unless otherwise specified by the applicant and noted on their site plan, subject to review and approval by the TRC and appropriate jurisdiction’s governing board.

**4.10.6.4** All lots created within a Village Neighborhood Development shall have access to a proposed or existing public street. ~~However, attached and detached single-family dwellings may be separated from a public right-of-~~

way by a strip of land under common ownership by the owners of the lots wherein access and utility easements, where necessary, are established. Vehicular access, however, may be provided by privately maintained proposed, or existing, alleyways. Back alleyways that provide vehicular access to dwellings that front an existing or proposed public street are an encouraged design feature. Proposing residential dwellings with backyards facing existing or proposed public streets should be avoided whenever practical.

## **Zoning Text Amendment, Case 2026-0105**

Proposed text amendment for Article 6 of the Unified Development Ordinance, including the following:

**6.7.1.2.1** Secondary access shall be ~~provided required~~ for major residential subdivisions ~~of 30 or more lots where the total number of lots exceeds 100~~. Secondary access must be a paved, internal public street that connects to an existing public street to provide adequate traffic circulation and connectivity.

## **Zoning Text Amendment, Case 2026-0106**

Proposed text amendments for Article 10 of the Unified Development Ordinance, including the following:

- Clarifying language for §10.1 relating to outdoor storage standards

**10.1.3.2** Outdoor storage areas shall be ~~screened from view from a public street or from adjoining residentially- or commercially-zoned parcels~~ by a Type C buffer yard in accordance with § 7.5 of this Ordinance.

**10.1.3.7** Outdoor storage shall only be permitted as an accessory use. Outdoor storage must be established with a principal land use and structure(s).

- Revised language for §10.7 that gives Historic Preservation Commission authority over commercial design within Sanford’s historic district:

### **10.7.2.3 EXEMPTIONS**

The following commercial land uses are not subject to the standards of this § 10.7:

- Multi-family residential development (which is addressed in § 10.3 of this Ordinance).
- Shopping centers or other large retail “Superstores” that are in excess of 25,000 square feet (which are subject to design standards of § 10.2 of this UDO).
- Any land use as classified in Table 4.6-1 of this UDO under the land use subheading Industrial and Manufacturing Uses and includes a total site acreage of five acres or greater and/or a total amount of structures with a GFA of 25,000 square feet or greater. See § 10.8 of this Ordinance for industrial design standards.
- Building lots that were created as part of an office/business park or an industrial park if such lots do not take vehicular access directly from a thoroughfare or freeway as identified in § 10.7.2.2. Such lots shall be exempt only if access is via a secondary street.

- This shall not apply to the ~~Downtown Sanford and Rosemount-Mclver Local Historic Districts. CBD Central Business District zoning classification except as located within the Town of Broadway.~~
- Some additional language within §10.7 to require sidewalks for most new commercial development, unless deemed impractical.

**10.7.3.8 PEDESTRIAN CONNECTIVITY** Sidewalks shall be required adjacent to all public streets that provide access to the development. This requirement may be waived by the Zoning Administrator if deemed impractical. Such improvements may be subject to road widening and other related improvements. Road widening, sidewalks, curb and guttering, utility relocations, and all other related improvements shall be the responsibility of the developer and/or owner.

Sidewalks shall be constructed within the interior of the development to link buildings with other destinations such as, but not limited to: parking, adjoining streets, adjoining sidewalks, or adjoining developments or amenities where appropriate pedestrian connections can be reasonably accomplished. These interior sidewalks shall be constructed in accordance with the standards for sidewalks as set forth in Article 10 of this Ordinance.

## CITY OF SANFORD PUBLIC NOTICE

Notice is hereby given that the Sanford City Council and Planning Board will hold joint legislative hearings on Tuesday, January 20, 2026 in the Council Chambers of the Sanford Municipal Center at 225 E. Weatherspoon Street, Sanford, N.C. These public hearings provide the public an opportunity to be heard. The Boards will consider one (1) application to amend the Official Zoning Map of the City of Sanford, NC and five (5) staff-initiated text amendments to the to the jointly adopted City of Sanford/Lee County/ Town of Broadway Unified Development Ordinance (UDO). The hearings will begin at 6:00 p.m. or as soon thereafter as deemed practical by the Boards. The rezoning application and proposed text amendments are described below:

### 1. ZONING MAP AMENDMENT / REZONING APPLICATION; CASE 2026-0101

Application by Atwell, LLC d/b/a Atwell, PLLC to amend the existing Ashby Village Conditional Zoning District to provide more detail to the Office & Institutional (O&I) and the General Commercial (C-2) portions of the Ashby Village project that was approved via the site plan/subdivision plan conditional zoning process in 2021. The subject property is comprised of four parcels of land totaling 36.9 acres with frontage on Rosser Road and S. Horner Blvd. The subject property is identified as Lee County Tax Parcels 9652-90-4777-00 (O&I), 9652-90-5359-00 (O&I), 9661-09-2400-00 (C-2), and 9661-08-9921-00 (C-2) as depicted on Tax Maps 9652.20, 9662.03, 9651.08, and 9661.01.

### 2. ZONING TEXT AMENDMENT; CASE 2026-0102

Staff-initiated text amendment to revise the Unified Development Ordinance's (UDO's) Appendix A, to add a legal definition for the term "outparcel," and Appendix B, to revise the Lee County Environmental Health certificate language to align with recently changed state statutes.

### 3. ZONING TEXT AMENDMENT; CASE 2026-0103

Staff-initiated revisions to the Unified Development Ordinance (UDO) Article 2, Section 3 (§2.3.4) relating to Town of Broadway's Planning Board appointments to align the language with recently updated Town of Broadway municipal code language.

### 4. ZONING TEXT AMENDMENT; CASE 2026-0104

Staff-initiated text amendments for Article 4 of the Unified Development Ordinance (UDO), including the following:

- The addition of an exemption from the lot width-to-depth ratio for cul-de-sac lots as a result of a major subdivision, which shall be included as a note in Table 4.7-1's Density and Dimensional Standards.
- The removal of detached single-family dwellings (site-built and modular) and attached single-family dwellings as permitted uses within the MF-12 (multifamily) zoning district.
- Updates for development standards to the recently established Village Neighborhood Development (VND), including the expansion of lot type options, increasing the minimum number of lots that would trigger a necessary change in lot types provided from 125 to 200, replacing the 1:1 ratio for required lot types with a 5% minimum requirement, and the inclusion of new permitted lot design options for developers.

### 5. ZONING TEXT AMENDMENT; CASE 2026-0105

Staff-initiated text amendment for Article 6 of the Unified Development Ordinance (UDO) to amend §6.7.1.2.1 by changing the threshold for two access points within a new subdivision from 30 lots to 100 lots to align with NC Fire Code standards.

## 6. ZONING TEXT AMENDMENT; CASE 2026-0106

Staff-initiated text amendments for Article 10 of the Unified Development Ordinance (UDO) to add the following new language:

- Clarifying language for §10.1.3.2 regarding the purpose of landscape screening for outdoor storage.
- Clarifying language for §10.1.3.7 regarding outdoor storage being permitted only as an accessory use to align with long-standing interpretations of the UDO.
- Clarifying language for §10.7.2.3 that puts commercial development's architectural design within Sanford's local historic districts under the purview of the Historic Preservation Commission
- Clarifying language for §10.7 that includes specific conditions in which pedestrian connectivity is required for commercial development.

The public is cordially invited to attend. For those wishing to speak during a public hearing, it is required that the speaker sign up prior to the public hearing in the lobby of the Sanford Municipal Center; planning staff will be present to facilitate this sign-up requirement.

Further information may be obtained from the Sanford/Lee County Community Development Department located at 115 Chatham Street in downtown Sanford or by contacting Amy McNeill at (919) 718-4656, ext. 5397 or [amy.mcneill@sanfordnc.net](mailto:amy.mcneill@sanfordnc.net). Upon request and with 24-hour notice, the City will provide an interpreter for the hearing impaired or any other type of auxiliary aid.

Cualquier ciudadano que tenga preguntas o comentarios de las cosas al referido, puede comunicarse a el departamento de desarrollo para Sanford/Condado de Lee, llame al (919) 718-4656.

The Sanford Planning Board agendas are posted on the City of Sanford website at <https://www.sanfordnc.net/AgendaCenter> and contain addition information regarding the items referenced in this notice.

By Bonnie Bryant, Clerk  
City of Sanford

*Please publish the attached Public Notice in the Sanford Herald Classifieds Legal Section on Thursday, January 8, 2026 and on Thursday, January 15, 2026. If you have any questions regarding this notice, please call or email Amy McNeill at [amy.mcneill@sanfordnc.net](mailto:amy.mcneill@sanfordnc.net) or 919-718-4656, ext. 5397.*

*Please reference this account (30031885) on the invoice and refer to as Sanford Planning Board Public Hearing Notice. You may send the publishers affidavit to the Sanford/Lee County Community Development Office, P.O. Box 3729, Sanford, NC 27330, Attention: Angela Baker.*

# Sanford/Lee County

Planning and Development  
P.O. Box 3729, Sanford, NC 27331-3729

January 7, 2026

Dear Adjacent Property Owner:

The Unified Development Ordinance (UDO) of Sanford, North Carolina requires that adjacent property owners be notified when a request for a change in zoning classification has been scheduled for a public hearing before the Sanford City Council and Planning Board.

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### 2. ZONING TEXT AMENDMENT; CASE 2026-0102

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- The addition of an exemption from the lot width-to-depth ratio for cul-de-sac lots as a result of a major subdivision, which shall be included as a note in Table 4.7-1's Density and Dimensional Standards.
- The removal of detached single-family dwellings (site-built and modular) and attached single-family dwellings as permitted uses within the MF-12 (multifamily) zoning district.
- Updates for development standards to the recently established Village Neighborhood Development (VND), including the expansion of lot type options, increasing the minimum number of lots that would trigger a necessary change in lot types provided from 125 to 200, replacing the 1:1 ratio for required lot types with a 5% minimum requirement, and the inclusion of new permitted lot design options for developers.

#### 5. ZONING TEXT AMENDMENT; CASE 2026-0105

Staff-initiated text amendment for Article 6 of the Unified Development Ordinance (UDO) to amend §6.7.1.2.1 by changing the threshold for two access points within a new subdivision from 30 lots to 100 lots to align with NC Fire Code standards.

#### 6. ZONING TEXT AMENDMENT; CASE 2026-0106

Staff-initiated text amendments for Article 10 of the Unified Development Ordinance (UDO) to add the following new language:

- Clarifying language for §10.1.3.2 regarding the purpose of landscape screening for outdoor storage.
- Clarifying language for §10.1.3.7 regarding outdoor storage being permitted only as an accessory use to align with long-standing interpretations of the UDO.
- Clarifying language for §10.7.2.3 that puts commercial development's architectural design within Sanford's local historic districts under the purview of the Historic Preservation Commission
- Clarifying language for §10.7 that includes specific conditions in which pedestrian connectivity is required for commercial development.

The public is cordially invited to attend. For those wishing to speak during a public hearing, it is required that the speaker sign up prior to the public hearing in the lobby of the Sanford Municipal Center; planning staff will be present to facilitate this sign-up requirement.

Further information may be obtained from the Sanford/Lee County Community Development Department located at 115 Chatham Street in downtown Sanford or by contacting Amy McNeill at (919) 718-4656, ext. 5397 or [amy.mcneill@sanfordnc.net](mailto:amy.mcneill@sanfordnc.net). Upon request and with 24-hour notice, the City will provide an interpreter for the hearing impaired or any other type of auxiliary aid.

Cualquier ciudadano que tenga preguntas o comentarios de las cosas al referido, puede comunicarse a el departamento de desarrollo para Sanford/Condado de Lee, llame al (919) 718-4656.

The Sanford Planning Board agendas are posted on the City of Sanford website at <https://www.sanfordnc.net/AgendaCenter> and contain addition information regarding the items referenced in this letter

**ADJACENT PROPERTY OWNERS' NOTIFICATION CERTIFICATION**

I, Amy J. McNeill, hereby certify that the property owners and adjacent property owners of the following rezoning petitions as indicated on the Lee County Tax Maps were notified by First Class U.S. Mail on Wednesday, January 7, 2026.

1. ZONING MAP AMENDMENT / REZONING APPLICATION; CASE 2026-0101

Application by Atwell, LLC d/b/a Atwell, PLLC to amend the existing Ashby Village Conditional Zoning District to provide more detail to the Office & Institutional (O&I) and the General Commercial (C-2) portions of the Ashby Village project that was approved via the site plan/subdivision plan conditional zoning process in 2021. The subject property is comprised of four parcels of land totaling 36.9 acres with frontage on Rosser Road and S. Horner Blvd. The subject property is identified as Lee County Tax Parcels 9652-90-4777-00 (O&I), 9652-90-5359-00 (O&I), 9661-09-2400-00 (C-2), and 9661-08-9921-00 (C-2) as depicted on Tax Maps 9652.20, 9662.03, 9651.08, and 9661.01.

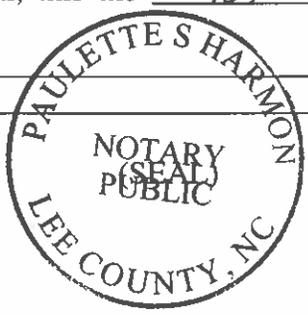
Title and Signature: Senior Planner, Amy J. McNeill Date: 01-07-2026

Lee County, North Carolina

I, Paulette S. Harmon, a Notary Public for Lee County and State of North Carolina do hereby certify that Amy J. McNeill, personally appeared before me on this day and acknowledged the due execution of the foregoing Instrument. Witness my hand and official seal, this the 12<sup>th</sup> day of January, 2026.

Notary Public Signature: Paulette S. Harmon

My Commission expires October 11<sup>th</sup>, 2030



## Closed Session